

Meeting – September 12, 2019  
Location - City Council Chambers, Third Floor, City Hall  
Time - 2:00PM  
Pre-Meeting - 1:00PM  
Department of Planning Engineering & Permits Conference Room, Fifth Floor

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Inglenook

ZBA2019-00050

Request: Variance  
Applicant: Kirby Sexton  
Owner: Buckroe Corp  
Site Address: 4601 Inglenook Ln  
Zip Code: 35217  
Description: Variance to allow a 6 FT fence in a front yard of a industrially zoned property abutting a residential district pursuant to Title 1, Chapter 4, Article V, Section 5, Subsection 4.A.2; Variance to allow a chain link fence in a yard other than a rear or side yard pursuant to Title 1, Chapter 4, Article V, Section 5, Subsection 7.D.3, Variance to allow a fence to be topped with barbed wire in a yard other than a rear yard only pursuant to Title 1, Chapter 4, Article V, Section 5, Subsection 7.D.4  
Property Zoned: M3 Planned Industrial District  
Parcel Information: Parcel #012300084002002001, SW ¼ of Section 29, Township 17 S, Range 2 W

**Variance**

The applicant is requesting variances to allow a 6 FT chain link fence topped with barbed wire to be placed on the interior of the subject location. The site is home to a UPS distribution facility.

**Neighborhood**

The Inglenook Neighborhood Association has yet to respond to staff.

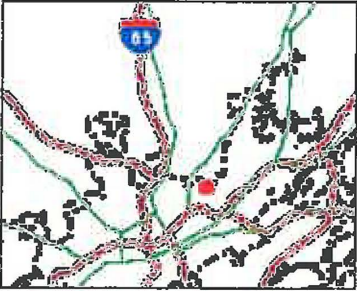
**Applicant's Justification**

The applicant stated that a portion of the interior fencing must be modified due to a building expansion. The primary objective of the fencing is security. The applicant also stated that the residential area the property abuts is separated by both topography and a large amount of foliage. No residences can be seen from UPS and UPS cannot be seen from the residences.

**Staff Recommendation**

Staff does not believe the applicant has submitted evidence that meets the variance standards of review. Staff did not find evidence of a hardship. Therefore, staff believes this request does not have merit for approval and as such, should be **DENIED**. If the Board chooses to grant this request it should be subject to the following conditions:

1. Review by the appropriate zoning inspector to insure compliance with the Board's decision.
2. Applicant must obtain all permits associated with the approval of this request within two years from the date of approval.
3. Approval based on site plan as submitted.



**Legend**

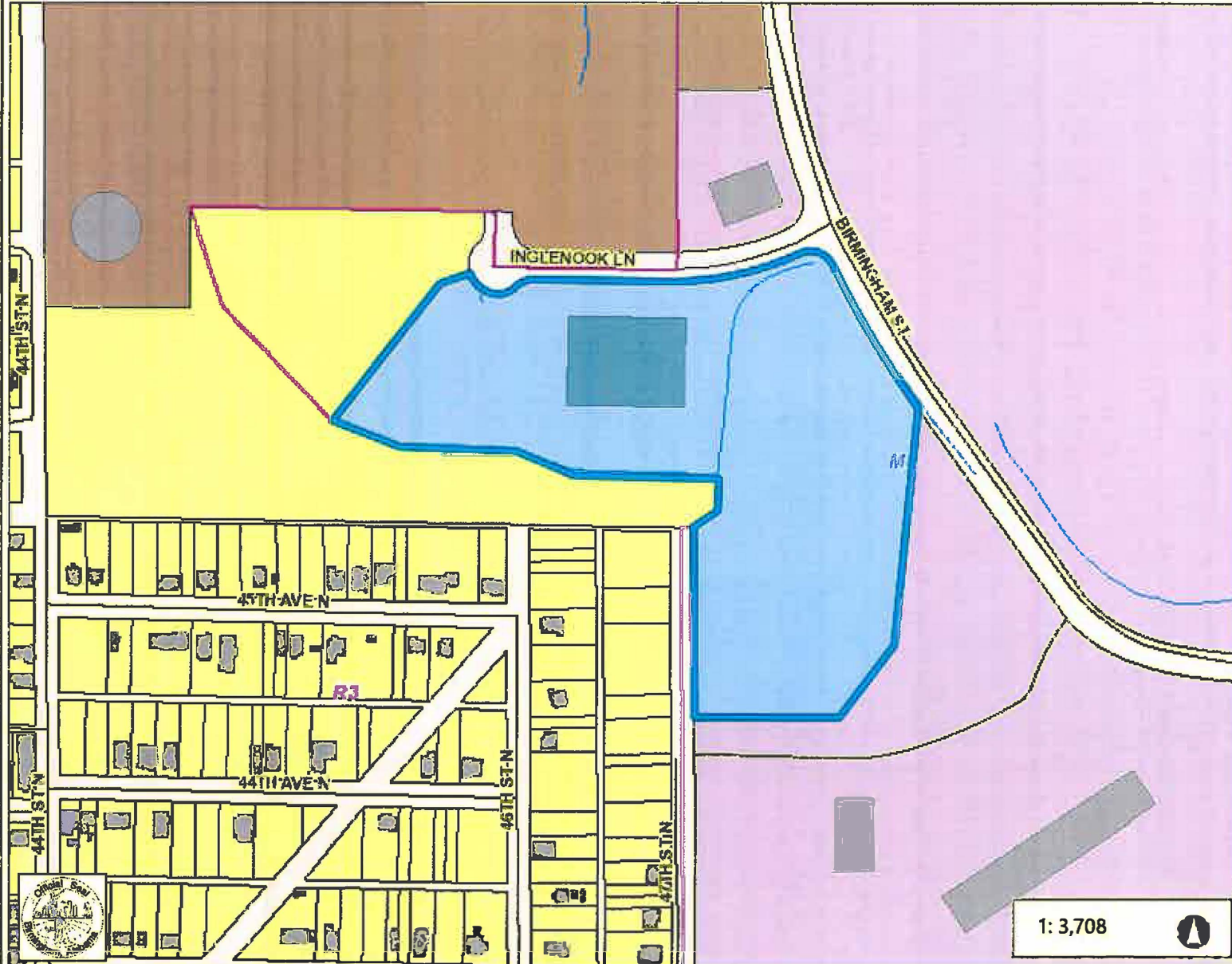
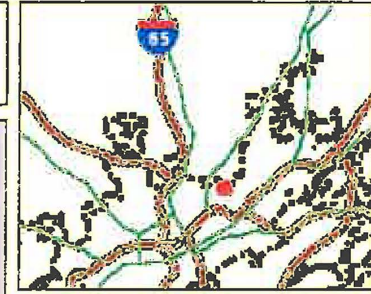
- Centerline Labels
- Zoning Outline
- Railroad
- Alleys
- Local Roads
- Arterials
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- Interstates
  - Limited Access
  - Ramp
- Buildings
- Hydrology Lines
- Hydrology Areas
- Parcels
- City Parks
- Airport
- City Limits (solid)

1: 3,708

Notes



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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



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1: 3,708



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Notes



LEGAL ENTITY:  
ARCADIS USA OF OHIO  
AGE, LLC

SCALE

UPS

UPS ROEBUCK  
BIRMINGHAM,  
ALABAMA

ARCADIS PROJ. NO. T000001.0001

NO.	DATE	ISSUED BY	BY

ISSUED FOR  
PERMIT SUBMITTAL

COPYRIGHT: ARCADIS USA OF OHIO  
2018 AGE, LLC

DATE: 08/01/2018  
 PROJECT NO.: T000001.0001  
 DESIGNED BY: JSH  
 DRAWN BY: JSH  
 CHECKED BY: JSH

SHEET TITLE

OVERALL SITE  
PLAN

C-102

SEE SHEETS:  
C-103 (SITE PLAN)  
C-108 (GRADING PLAN)

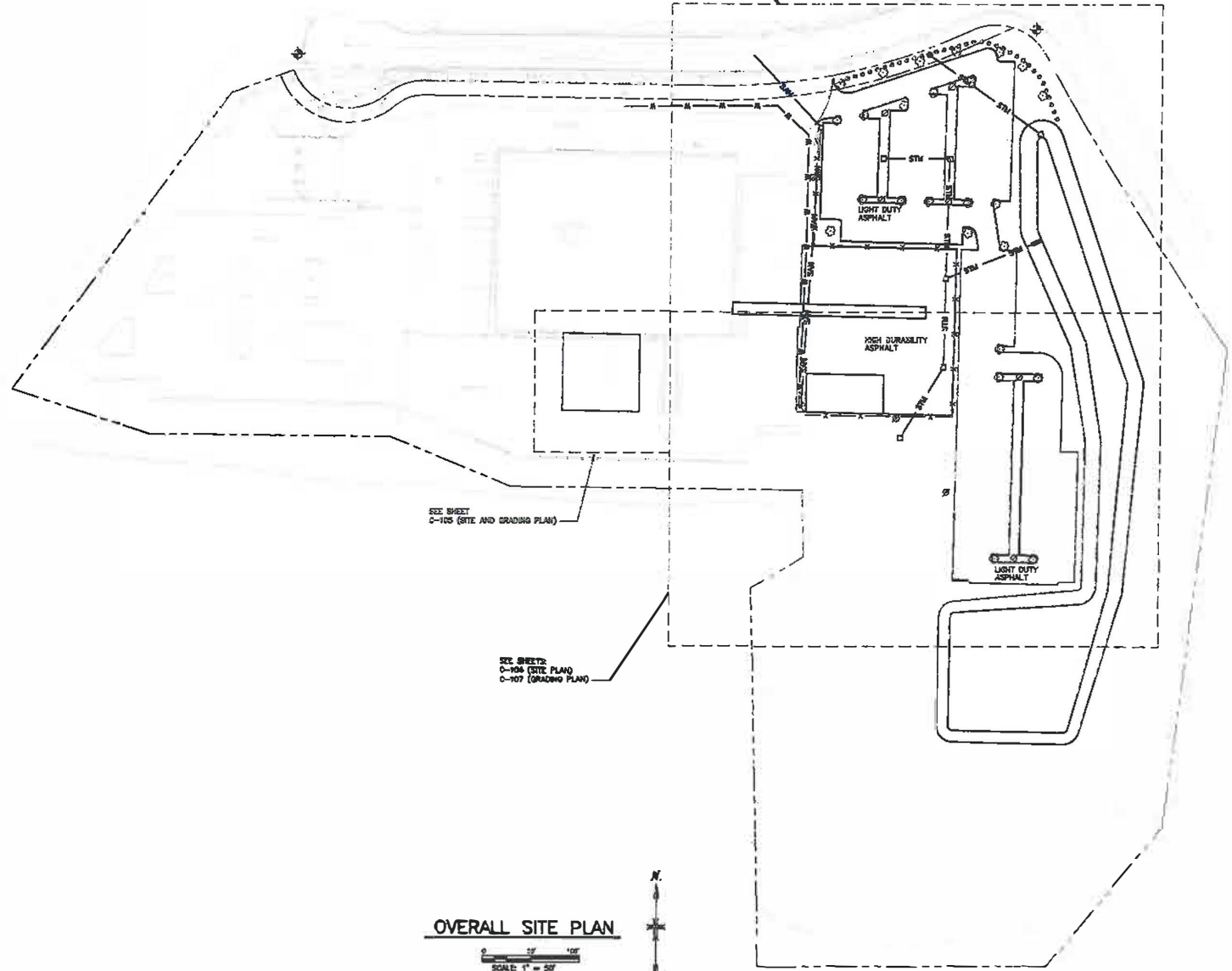
SEE SHEET  
C-105 (SITE AND GRADING PLAN)

SEE SHEETS:  
C-106 (SITE PLAN)  
C-107 (GRADING PLAN)

OVERALL SITE PLAN



N



To:  
City of Birmingham

Copies:  
Lamar Reed, UPS

Arcadis U.S., Inc.  
1728 3rd Avenue North  
Suite 300  
Birmingham  
Alabama 35203  
Tel 205 930 5700  
Fax 205 930 5707

From:  
Kirby Sexton, Arcadis

Date:  
June 27, 2019

Arcadis Project No.:  
CI005077.0010

Subject:  
UPS Roebuck Fence Variance

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## OVERVIEW

As part of a building expansion at the existing UPS distribution facility at 4601 Inglenook Lane, a portion of existing interior fence line must be modified. UPS is requested a fencing variance for height, material/style, and barbed wire for this fence. The requested variance would allow a 6 foot high chain link fence topped with barbed wire to match that previously existing. Due to the parcel situation, approximately half of the perimeter is considered front yard.

The primary objective of this fencing is to maintain security for materials stored on the property. The installation of a four foot high fence permitted by current zoning will not provide the security needed by UPS.

## SITE PLAN OF AREA AFFECTED

The site is neighbored on the southwest by a residential neighborhood, with commercial and industrial property on all other sides. This residential area is separated from the UPS site by both topography and a large amount of trees and other foliage. No residences can be seen from UPS, and UPS cannot be seen from the residences.

Currently, a grandfathered six foot high chain link fence with razor/barbed wire surrounds the entire property. In the below diagram, red represents existing chain link and barbed wire fencing that is not included in this variance request. It is existing and will remain present regarding of outcome. This request

MEMO

pertains only to fencing within the property and entirely within the existing fencing, as show in green on the below diagram. In addition, the interior fence to be replaced is shown in gray.

Due to these facts, the adjacent residential properties will not be harmed with the granting of this variance request. It will also not negatively affect the public entering, driving by, or using adjacent properties.



Existing Fencing Present

**PHOTOGRAPHS**



**Existing Fence at Front of Property**



**Existing Fence at Front of Property**



**Existing Fence at Side of Property**



**Existing Fence at Rear of Property**





Existing Fence at Rear of Property

Powderly

ZBA2019-00054

Request: Modification  
Applicant: Lorenza Mauldin  
Owner: Sarah and Charles Brown  
Site Address: 1705 24<sup>th</sup> St SW  
Zip Code: 35211  
Description: Modification to allow 2 off street parking spaces instead of the required 11 off street parking spaces pursuant to Title 1, Chapter 9, Article VI, Section 6.A.3  
Property Zoned: C1 Neighborhood Business District  
Parcel Information: Parcel #012900174013021001, SE ¼ of Section 17, Township 18 S, Range 3 W

#### **Modification**

The applicant is requesting a modification to allow 2 off street parking spaces instead of the required 11 spaces for a proposed restaurant. The subject location is on the corner of 24<sup>th</sup> St SW and Francis Avenue SW.

#### **Neighborhood**

The Powderly Neighborhood Association has yet to respond to staff.

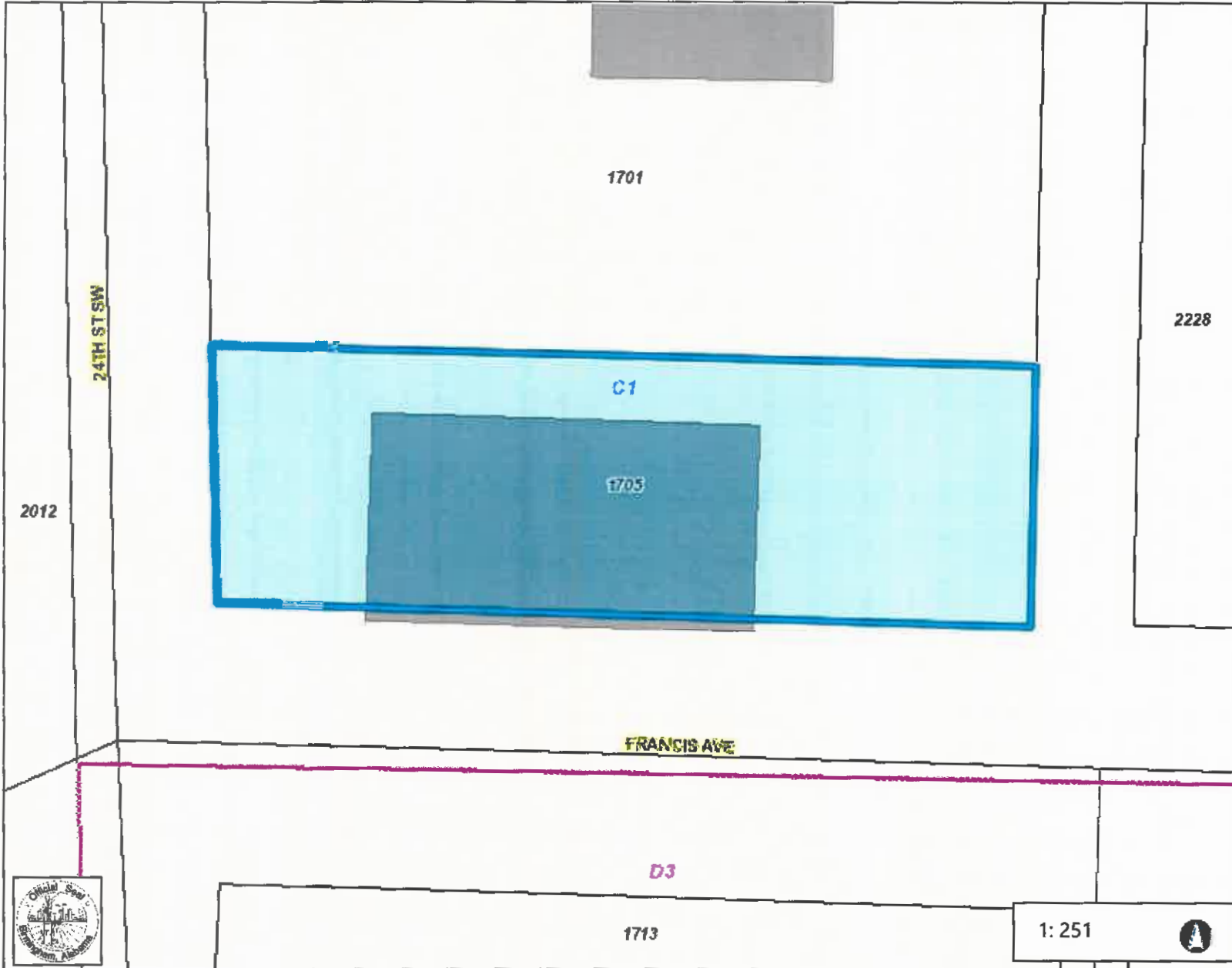
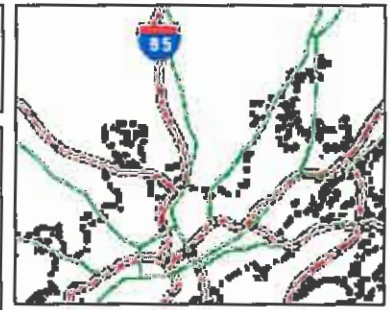
#### **Applicant's Justification**

The applicant provided documentation that shows 11 on street parking spaces on Francis Avenue SW adjacent to the subject property.

#### **Staff Recommendation**

Staff believes that the applicant has provided sufficient evidence to support this request. The amount of parking in the area seems sufficient to support this use. Therefore, staff believes this request does have merit for approval and as such, should be **GRANTED** subject to the following conditions:

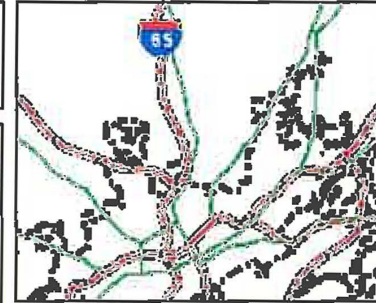
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2. Applicant must obtain all permits associated with the approval of this request within two years from the date of approval.
3. Approval based on site plan as submitted.



**Legend**

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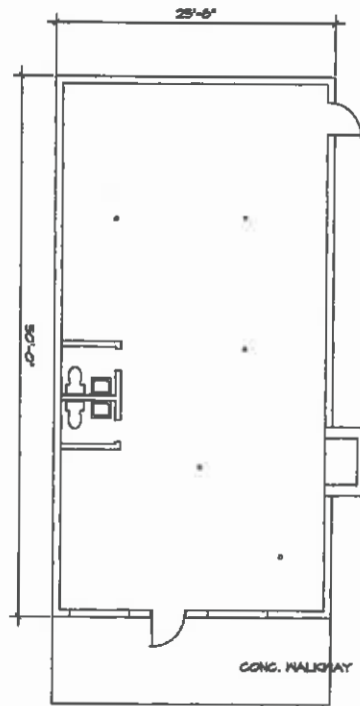


41.9 0 20.96 41.9 Feet

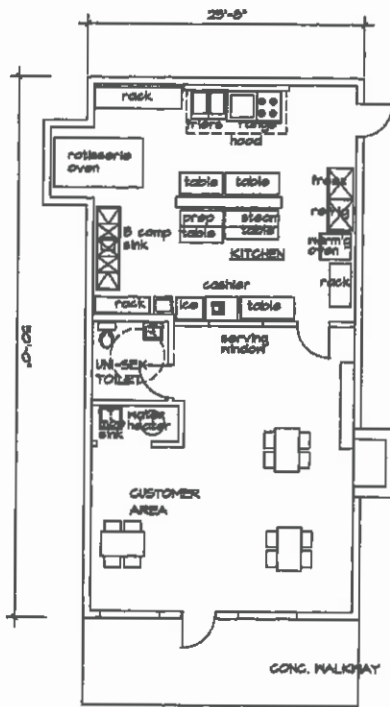
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**Notes**



**AS-IS FLOOR PLAN**  
SCALE: 1/8"=1'-0" 1,275 SQUARE FEET

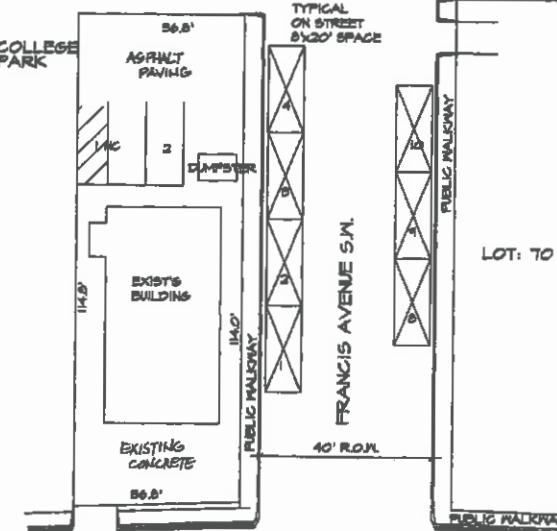


**FLOOR PLAN**  
SCALE: 1/8"=1'-0" 1,275 SQUARE FEET



**FRONT ELEVATION**  
SCALE: 1/8"=1'-0"

LOT 1  
PUBLIC SURVEY



24TH STREET S.W.

**SITE PLAN**  
SCALE 1"=20.0'

**PRELIMINARY**

BUILDING RENOVATION PLAN FOR:  
**COTTY'S BARBEQUE**  
1705- 24th STREET S.W.  
BIRMINGHAM, ALABAMA  
DATE: 7/19

31 July 2019

## REQUEST FOR ON STREET PARKING

I am respectfully requesting permission to have 11 on street parking spaces granted as per my Site Plan.

These additional parking spaces are necessary because regulations requires that the opening of a new a restaurant with a building (bldg) size of 1200+ square feet must have at least 13 parking spaces. My bldg located at 1705 24<sup>th</sup> St. SW in Birmingham, AL is 1275 square feet with only enough space for 2 parking spaces of regulation size. The requested parking spaces as denoted on my Site Plan are all located adjacent to empty lots with the exceptions of those spaces located adjacent to the proposed restaurant bldg.

Your favorable consideration on my behalf is highly appreciated.

Thank you,



Lorenza Mauldin

Highland Park

ZBA2019-00055

Request: Variance  
Applicant: Shelby Rayburn  
Owner: Eric Marcus  
Site Address: 1130 Lakeview Crescent  
Zip Code: 35205  
Description: Variance to allow an accessory building to have a 0 FT side yard setback instead of the required minimum side yard setback of 5 FT pursuant to Title 2, Article I, Chapter 1, Section 4, Subsection 3  
Property Zoned: R3 Single Family District  
Parcel Information: Parcel #012300314015010000, SE ¼ of Section 31, Township 17 S, Range 2 W

### **Variance**

The applicant is requesting a variance to allow a detached garage to be built with a 0 FT side setback. The proposed garage would replace an existing garage in the same location.

### **Neighborhood**

The Highland Park Neighborhood Association has yet to respond to staff.

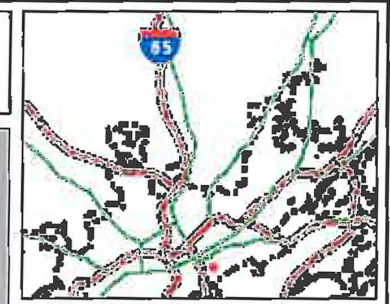
### **Applicant's Justification**

The applicant stated that the existing garage was constructed in 1920. The garage is in disrepair and needs to be replaced. The new carport/ pergola structure will replace the existing dilapidated garage but can only be accessible by the driveway if constructed within the same distance to the property line (approximately .8").

### **Staff Recommendation**

Staff believes that the applicant has provided sufficient evidence to support this request. The shape of this lot is unique and the proposed structure will replace a structure that has been in the same location as the proposed garage since 1920. Therefore, staff believes this request does have merit for approval and as such, should be **GRANTED** subject to the following conditions:

1. Review by the appropriate zoning inspector to insure compliance with the Board's decision.
2. Applicant must obtain all permits associated with the approval of this request within two years from the date of approval.
3. Approval based on site plan as submitted.



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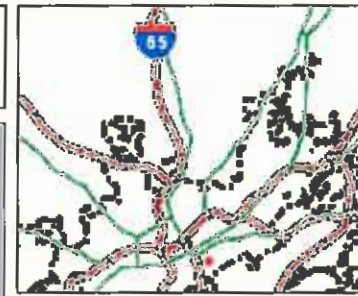
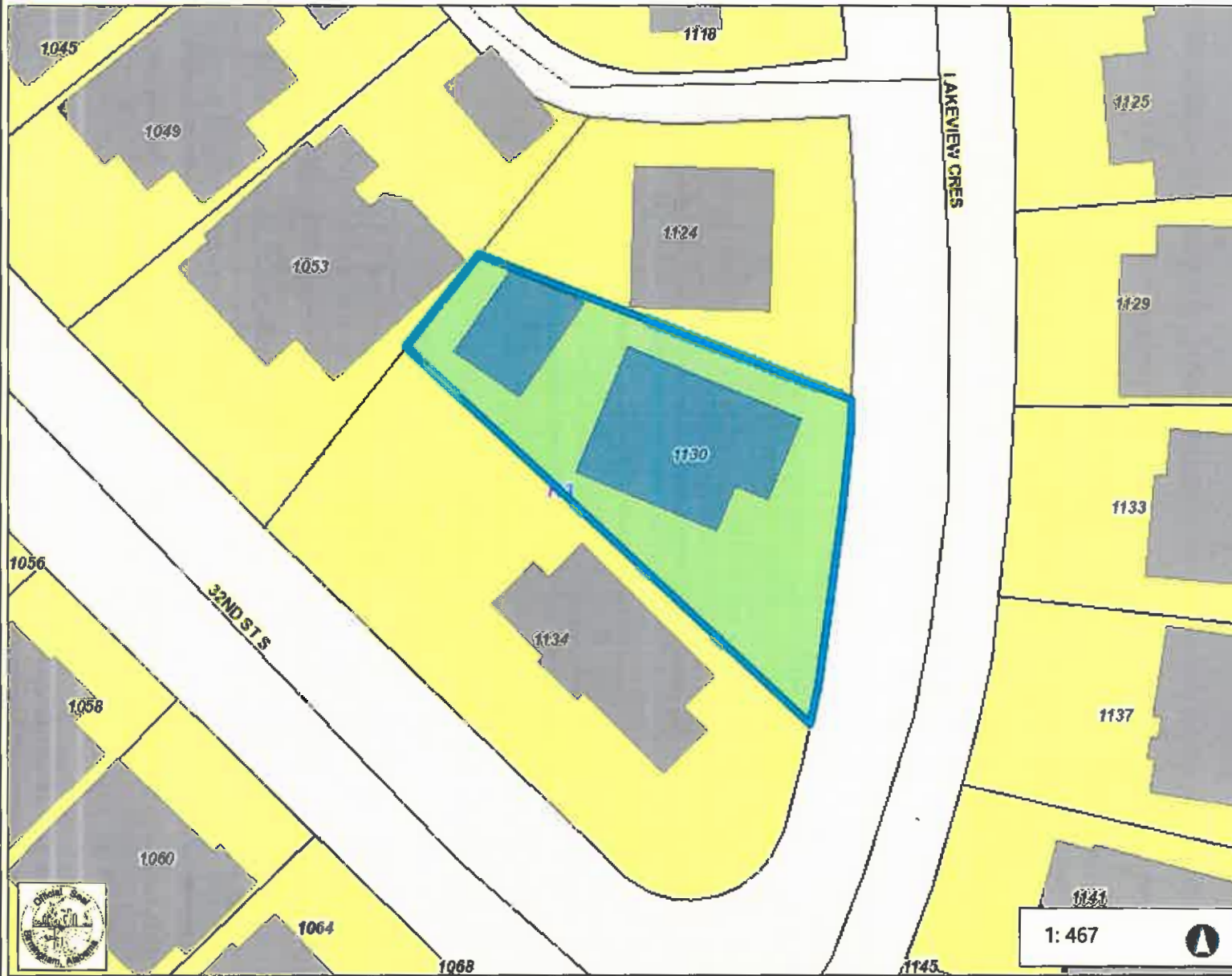
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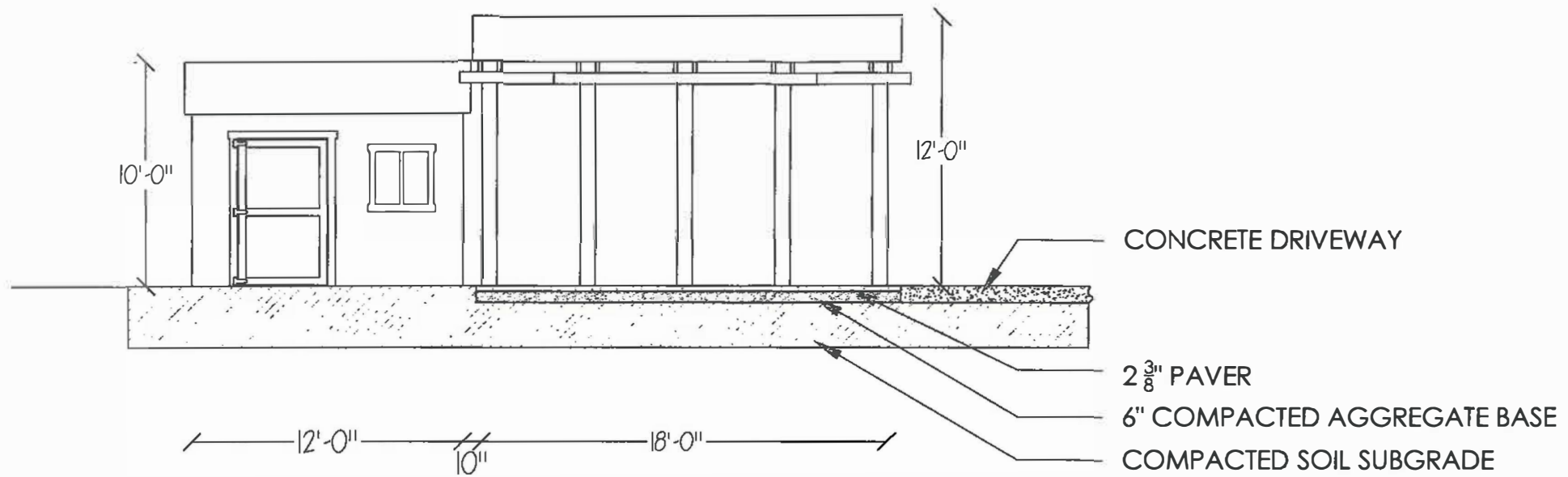
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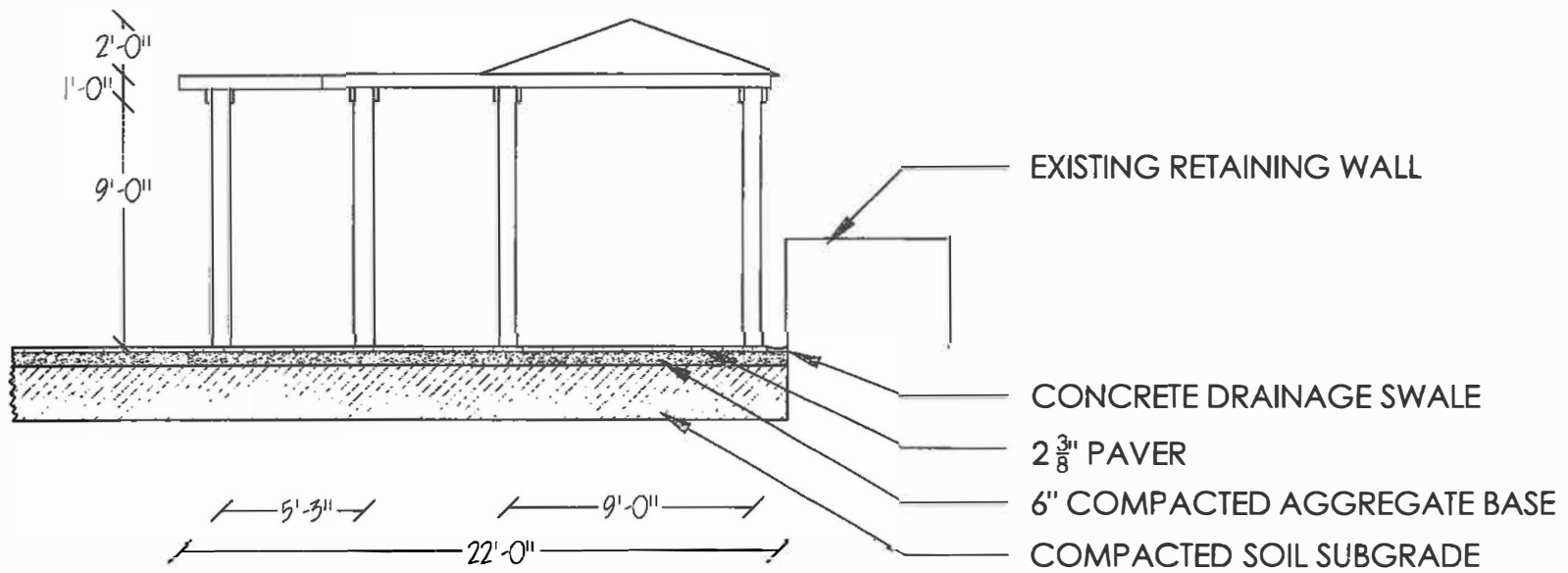
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Notes



SOUTH ELEVATION



EAST ELEVATION

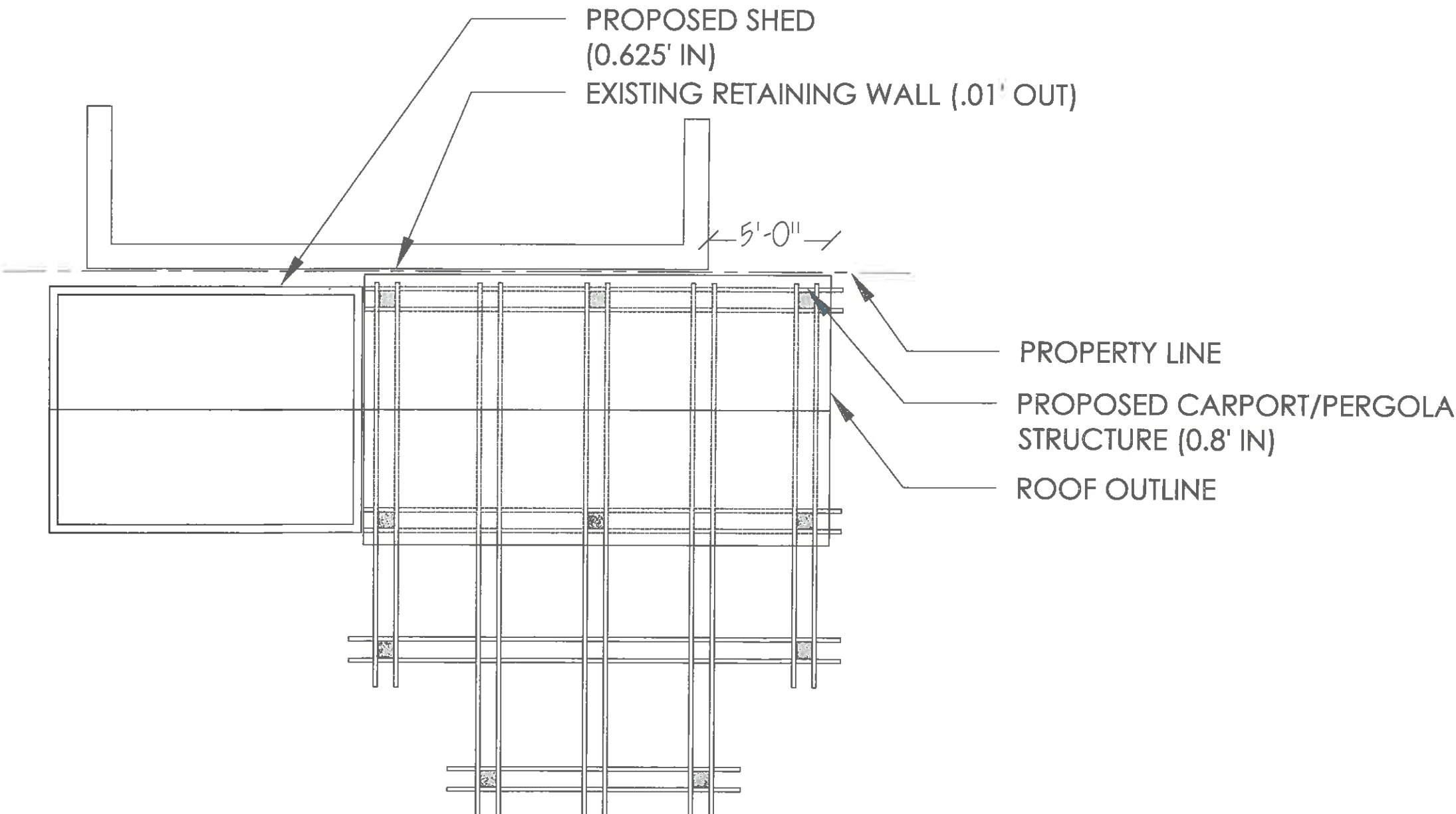
SCALE:  $\frac{3}{16}" = 1'$



4671 Appaloosa Drive  
Birmingham, AL 35210  
p. 205.9563030

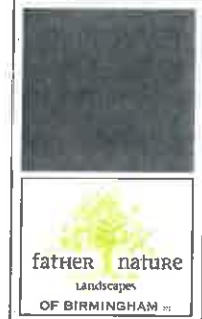
MARCUS  
RESIDENCE  
1130 Lakeview Crescent  
Birmingham, AL  
35205

Project Number: TBD  
Date: July 31, 2019  
Design by: SHR  
Drawn by: SHR  
Revisions:



ENLARGED DETAIL

SCALE:  $\frac{1}{4}'' = 1'$

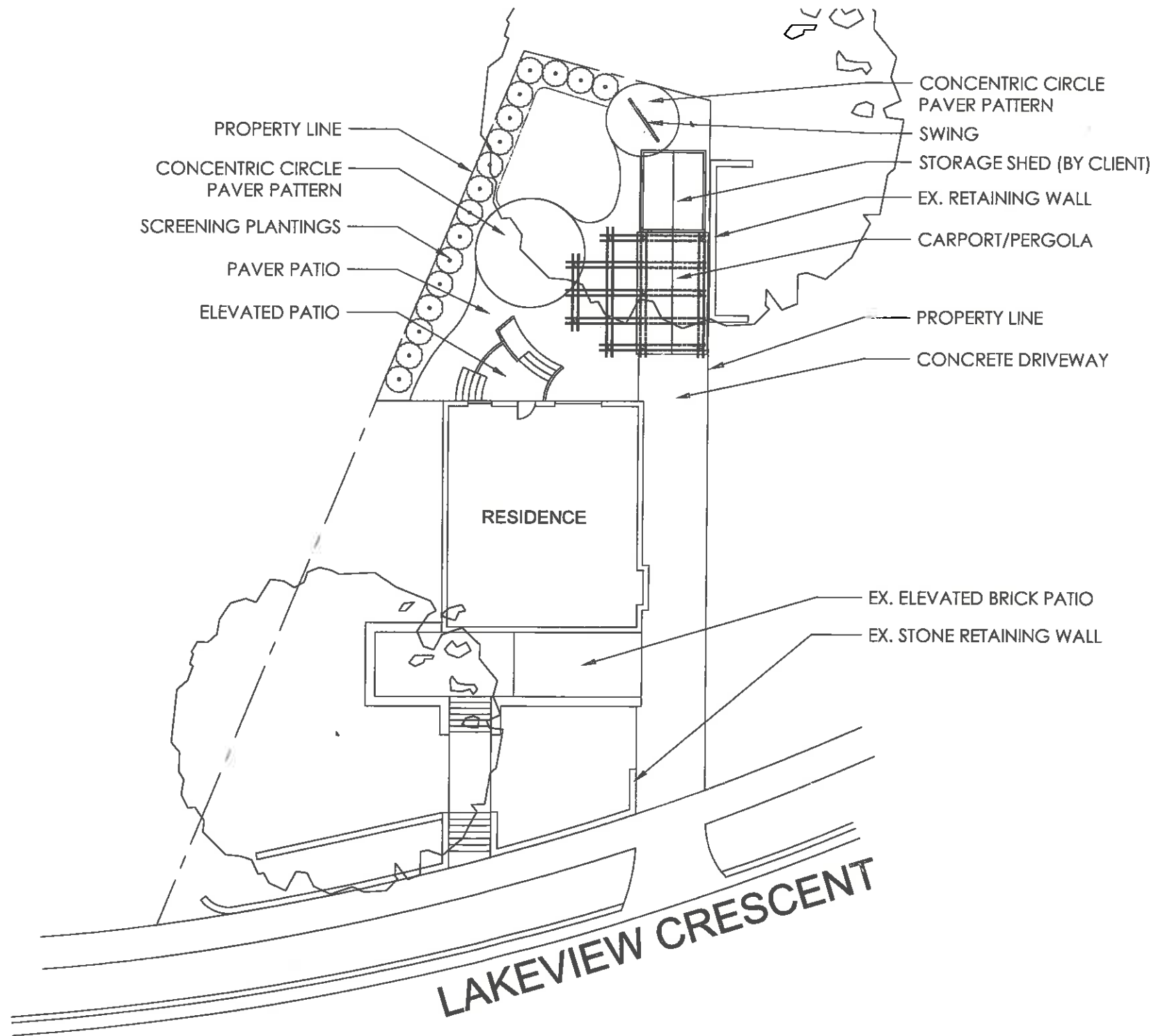


4671 Appaloosa Drive  
Birmingham, AL 35210  
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M A R C U S  
R E S I D E N C E  
1130 Lakeview Crescent  
Birmingham, AL  
35205

Project Number: TBD  
Date: July 31, 2019  
Design by: SHR  
Drawn by: SHR  
Revisions:

**SITE PLAN**



4671 Appaloosa Drive  
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p. 205.9563030

MARCUS  
RESIDENCE  
1130 Lakeview Crescent  
Birmingham, AL  
35205

Project Number: TBD  
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Design by: SHR  
Drawn by: SHR  
Revisions:



1/16th" = 1'

1 of 4



VIEW LOOKING WEST FROM  
LAKEVIEW CRESCENT



VIEW LOOKING WEST FROM DRIVEWAY. NOTE NEIGHBOR'S FENCE BLOCKS  
VIEW OF GARAGE.



CLOSE-UP VIEW OF EXISTING GARAGES  
PROXIMITY TO EXISTING RETAINING  
WALL

## EXISTING CONDITIONS

PHOTOS



4671 Appaloosa Drive  
Birmingham, AL 35210  
p. 205.9563030

MARCUS  
RESIDENCE  
1130 Lakeview Crescent  
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35205

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Drawn by: SHR  
Revisions:

EXPLANATION OF HARDSHIP/PRACTICAL DIFFICULTY

The property located at 1130 Lakeview Crescent in Birmingham is an elongated trapezoid measuring only 30' in width on the west property line. An existing garage (constructed c. 1920) located in the northwest corner of the property, and inside the 5' building setback, is in disrepair and needs replacing. A new carport/ pergola structure will replace the existing, dilapidated garage, but can only be accessible by the driveway if constructed within the same distance of the property line, inside the 5' setback.

Additionally, the neighboring property to the north sits at a higher elevation and includes an 8' wooden fence that is adjacent to the existing garage. Therefore, the newly-constructed carport/ pergola structure will not be visible from the neighboring property and will not impair an adequate supply of light and air.

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Ensley

ZBA2019-00058

Request: Special Exception  
Applicant: Patrick Sanders  
Owner: Ollie Rutledge  
Site Address: 3500 Avenue F  
Zip Code: 35218  
Description: Special exception to allow off-site parking for a place of worship Title 1, Chapter 4, Article III, Section 4.E.3  
Property Zoned: R3 Single Family District  
Parcel Information: Parcel #013000014021009000, SE ¼ of Section 01, Township 18 S, Range 4 W

**Special Exception**

The applicant is requesting a special exception to allow off-site parking for the Bible Way House of Prayer located at 3500 Avenue F. The church currently has 11 spaces on site. The proposed off-site lot will have 29 spaces.

**Neighborhood**

The Ensley Neighborhood Association met on August 15<sup>th</sup> and voted 11-0 in support of the request.

**Applicant's Justification**

The applicant stated that the church needs the additional parking and is limited by the amount of parking they currently have on-site. The church seats 240 people with space to hold an additional 80 people in the balcony.

**Staff Recommendation**

Staff believes that the applicant has provided sufficient evidence to support this request. The parking lot would ease on street parking and the total amount of parking provided for the church would meet the city's requirements. Therefore, staff believes this request does have merit for approval and as such, should be **GRANTED** subject to the following conditions:

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1: 983

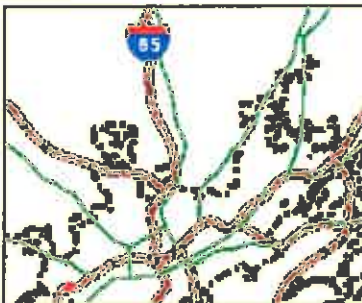


163.8 0 81.92 163.8 Feet

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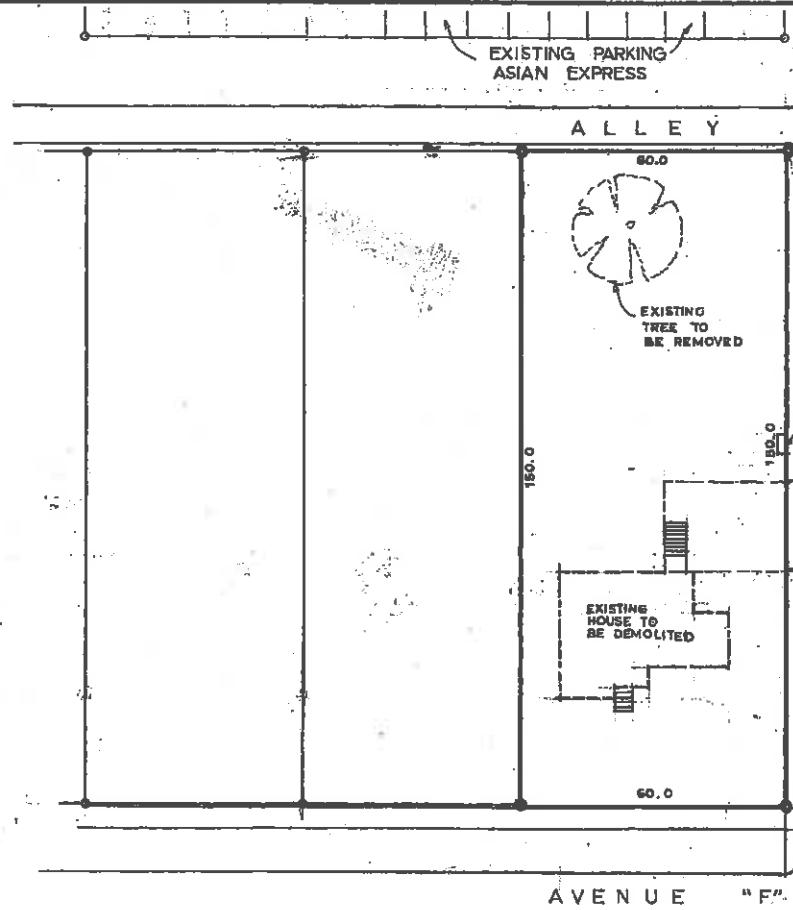


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Notes

A PROPOSED PARKING LOT  
for  
**THE BIBLE HOUSE OF PRAYER**

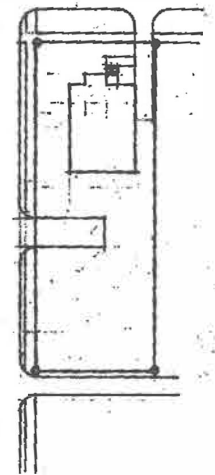
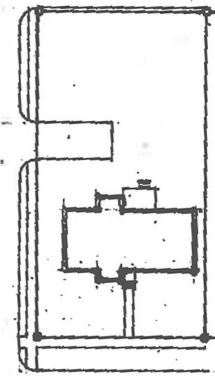
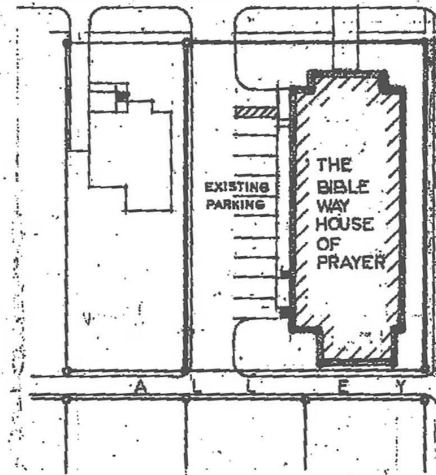
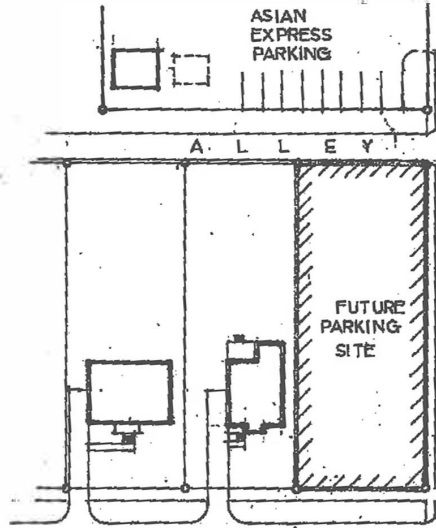
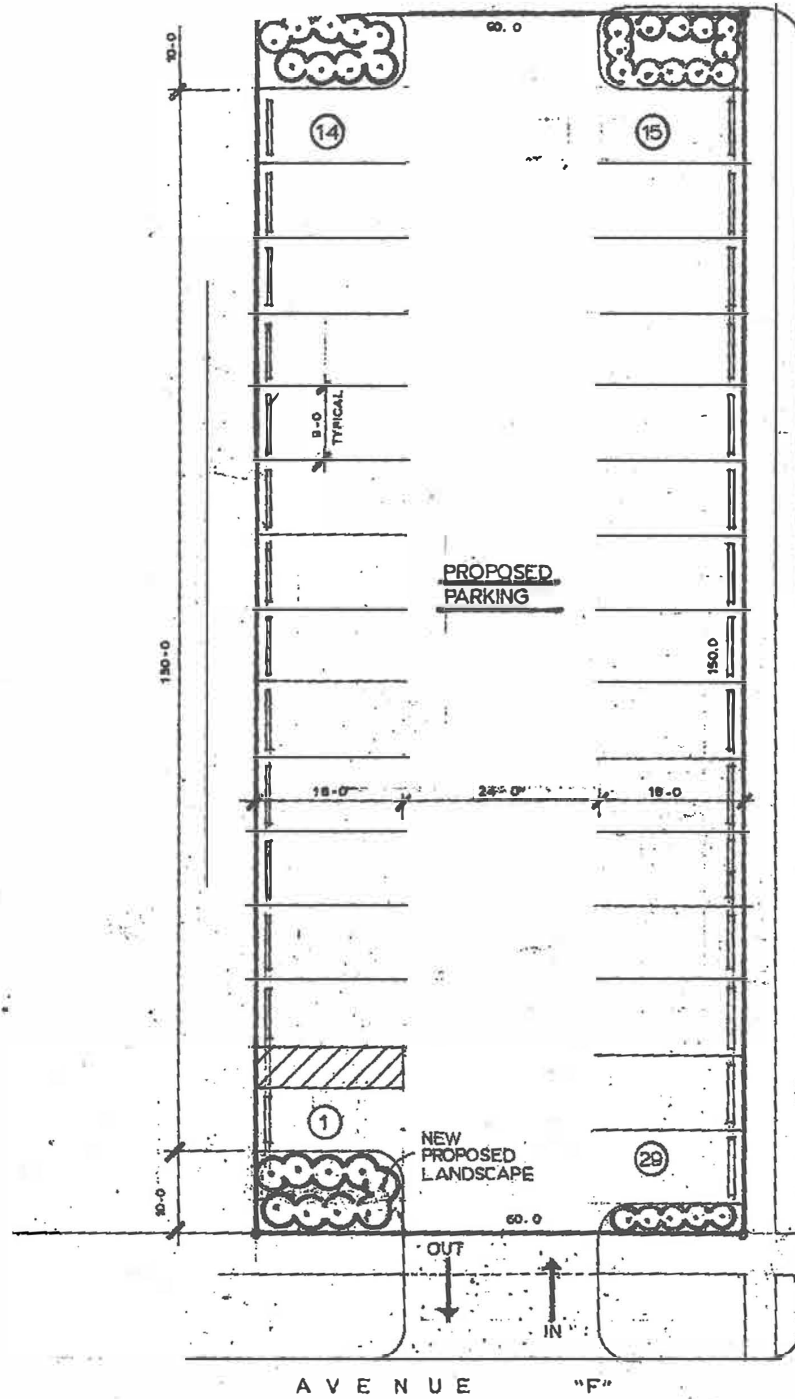
3500 Avenue "F" Birmingham, Alabama 35218



EXISTING SITE PLAN

Scale:

1" = 20'



VICINITY MAP

scale: 1=1/40

PROPOSED SITE PLAN

scale: 3/32 = 1.0

SEAL

A A PROPOSED PARKING LOT  
for  
**THE BIBLE USE OF PRAYER**  
5500 Avenue "F", Birmingham, AL 35218

SHEET TITLE

VICINITY MAP  
SITE PLAN

C1

SHTS: 2 OF 2

The Bible Way House of Prayer 1/8/19

On behalf of The Bible Way House of Prayer Inc. located at 3501 Ave. F Ensley, AL 35212 we would like to request additional parking due to the limited parking we currently have.

Our sanctuary seats Two Hundred Forty people, and our balcony can seat up to Eighty people. We currently have 11 spaces.

Deacon Richard Davis

North Pratt

ZBA2019-00059

**Request:** Variance  
**Applicant:** David Brandt  
**Owner:** City of Birmingham  
**Site Address:** 709 Dugan Ave  
**Zip Code:** 35214  
**Description:** Variance to allow a public building (park) to have 4 signs instead of one bulletin board or sign pursuant to Title 2, Chapter 1, Article I, Section 1, Subsection 2.10; Variance to allow 270 SF of signage instead of the maximum 27 SF allow pursuant to Title 2, Chapter 1, Article I, Section 1, Subsection 2.10; Variance to allow a sign to be animated or illuminated with intermittent light (80 SF) pursuant to Title 2, Chapter 1, Article I, Section 1, Subsection 2.10  
**Property Zoned:** R4 Two Family District and Semi-Attached Dwelling District  
**Parcel Information:** Parcel #01220203015001000, SW ¼ of Section 20, Township 17 S, Range 3 W

### **Variations**

The applicant is requesting variations for the number of signs, total square footage of signs and a variance to allow a digital sign to be animated and illuminated with intermittent light for the One Pratt Park project for the City of Birmingham. There will be two 30 SF signs that say “onePratt” routed on either side of the community building. There will be a 130 SF metal sign that wraps around the tower feature. The final proposed sign will be an 80 SF digital board located at the tower feature at ground level.

### **Neighborhood**

The North Pratt Neighborhood Association has yet to respond to staff.

### **Applicant’s Justification**

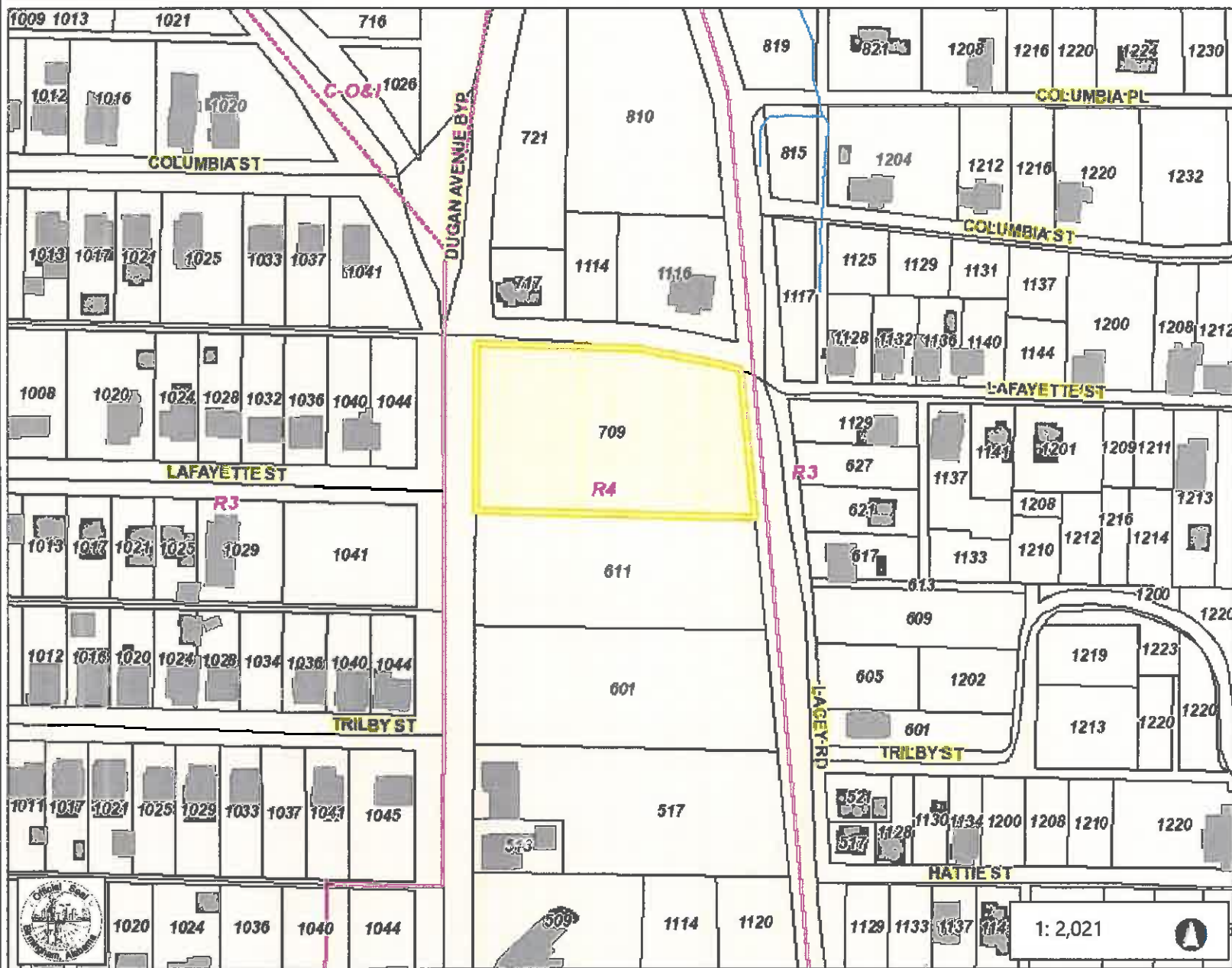
The applicant stated that the proposed 80 SF digital display board is not intended for off-premise viewing. The intent of this display is for displaying narrative information and images regarding the history/construction of the park that would require standing directly in front of it in order to be properly read/deciphered.

With regard to the other signage, the applicant stated that this park falls into the “unique characteristics” criteria. This park and community center are designed to catalyze redevelopment of one of the hardest hit neighborhoods by the April 2011 tornadoes. The park is in the geographic center of the community, and is meant to be a marker for its rejuvenation.

### **Staff Recommendation**

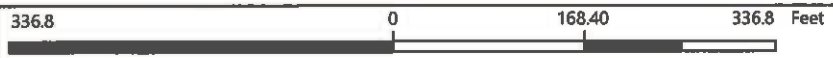
Staff believes that the applicant has provided sufficient evidence to support these requests. Therefore, staff believes this request does have merit for approval and as such, should be **GRANTED** subject to the following conditions:

1. Review by the appropriate zoning inspector to insure compliance with the Board’s decision.
2. Applicant must obtain all permits associated with the approval of this request within two years from the date of approval.
3. Approval based on site plan as submitted.



**Legend**

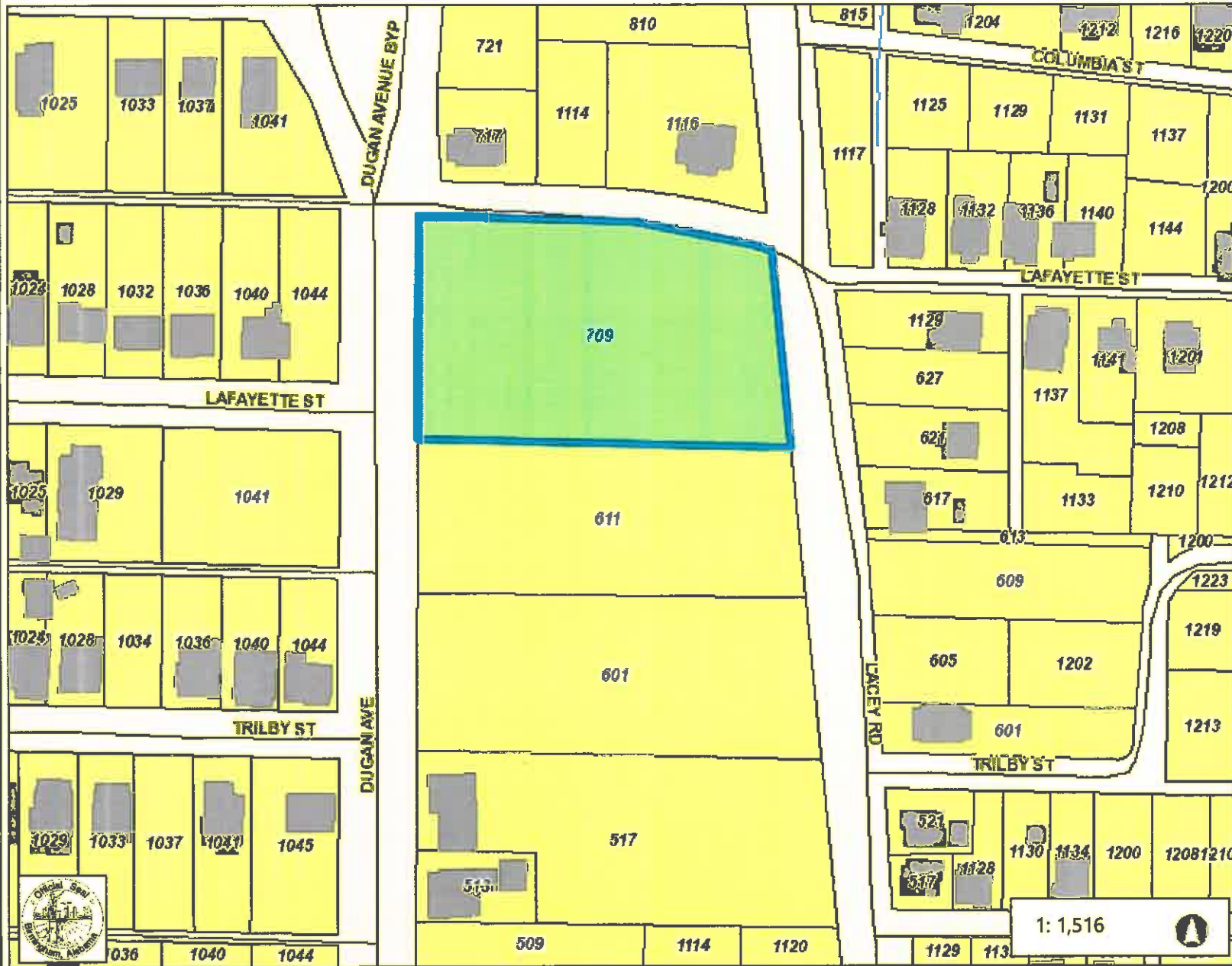
- Centerline Labels
- Zoning Outline
- Railroad
- Alleys
- Local Roads
- Arterials
- County Highways
- State Highways
- US Highways
- Interstates
- Limited Access
- Ramp
- Buildings
- Hydrology Lines
- Hydrology Areas
- Parcels
- City Parks
- Airport
- City Limits (solid)



The City of Birmingham makes no warranty, expressed or implied, as to the accuracy of the information represented herein. This map is a user generated static output from an internet mapping site and is for general reference only.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

Notes

1: 2,021



**Legend**

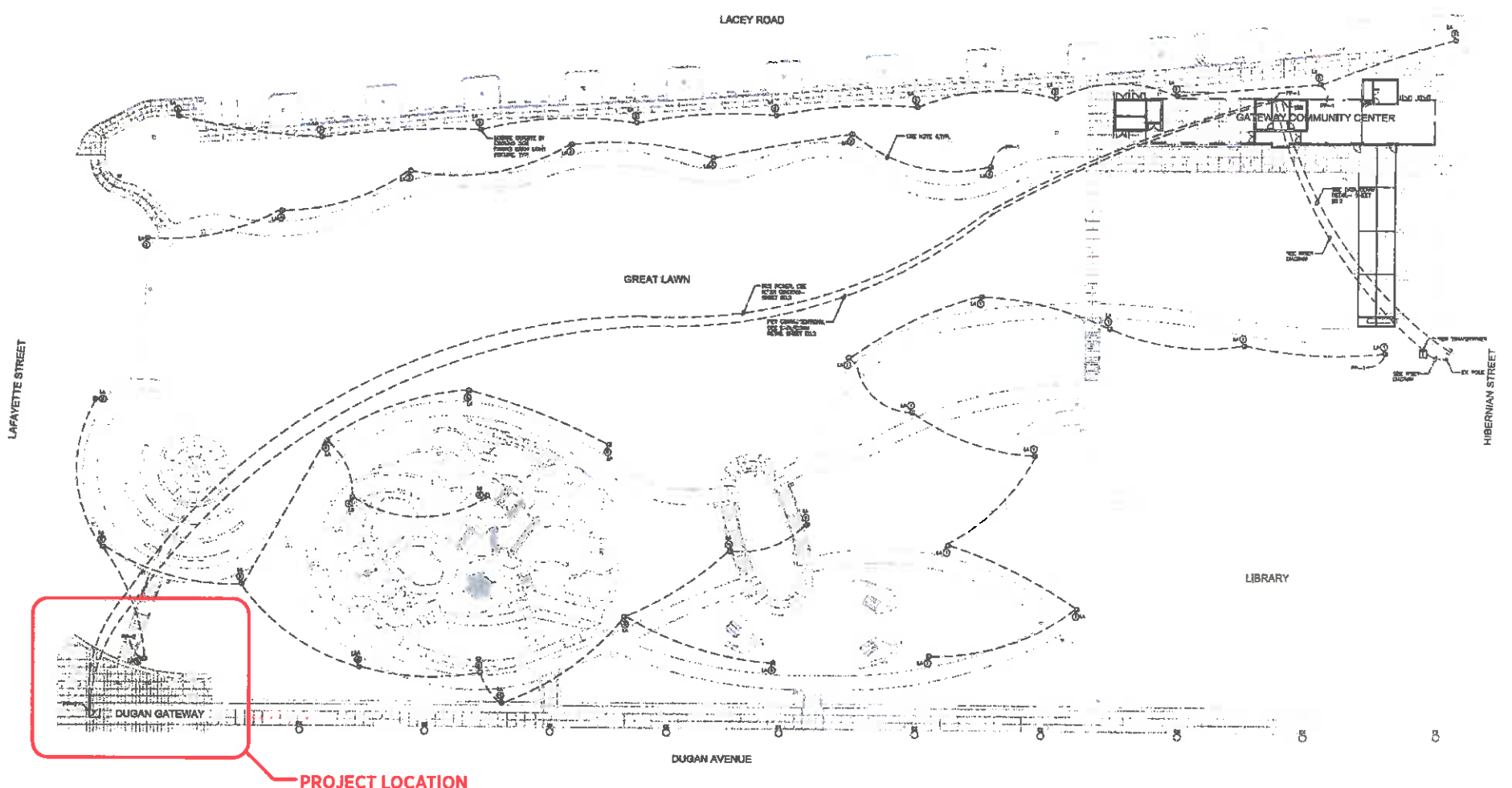
- Centerline Labels
- Railroad
- Alleys
- Local Roads
- Arterials
- County Highways
- State Highways
- US Highways
- Interstates
  - Limited Access
  - Ramp
- Buildings
- Hydrology Lines
- Hydrology Areas
- Parcels
- City Parks
- Airport
- Adopted LandUse Plan
  - Residential-Low
  - Residential-Medium
  - Residential-High
  - Neighborhood Commercial
  - General Commercial
  - MXU-Low
  - MXU-Medium
  - MXU-High



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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

1: 1,516

Notes



STATUS  
■ Client Review



153 West Park Drive Birmingham, AL 35211  
 1205.940.7180 1800.743.7181  
 1205.940.7190 - fax  
 www.fravert.com

**One Pratt Park**  
 DESIGN REF #: 19022110

**Location Plan**  
 EXTERIOR

DESIGNER: CJB  
 MANAGER: Drew Fravert

J:\19022110 - ONE PRATT PARK\Design

PAGE  
**1**

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133 West Park Drive Birmingham, AL 35211  
1.205.940.2780 1.800.242.2781  
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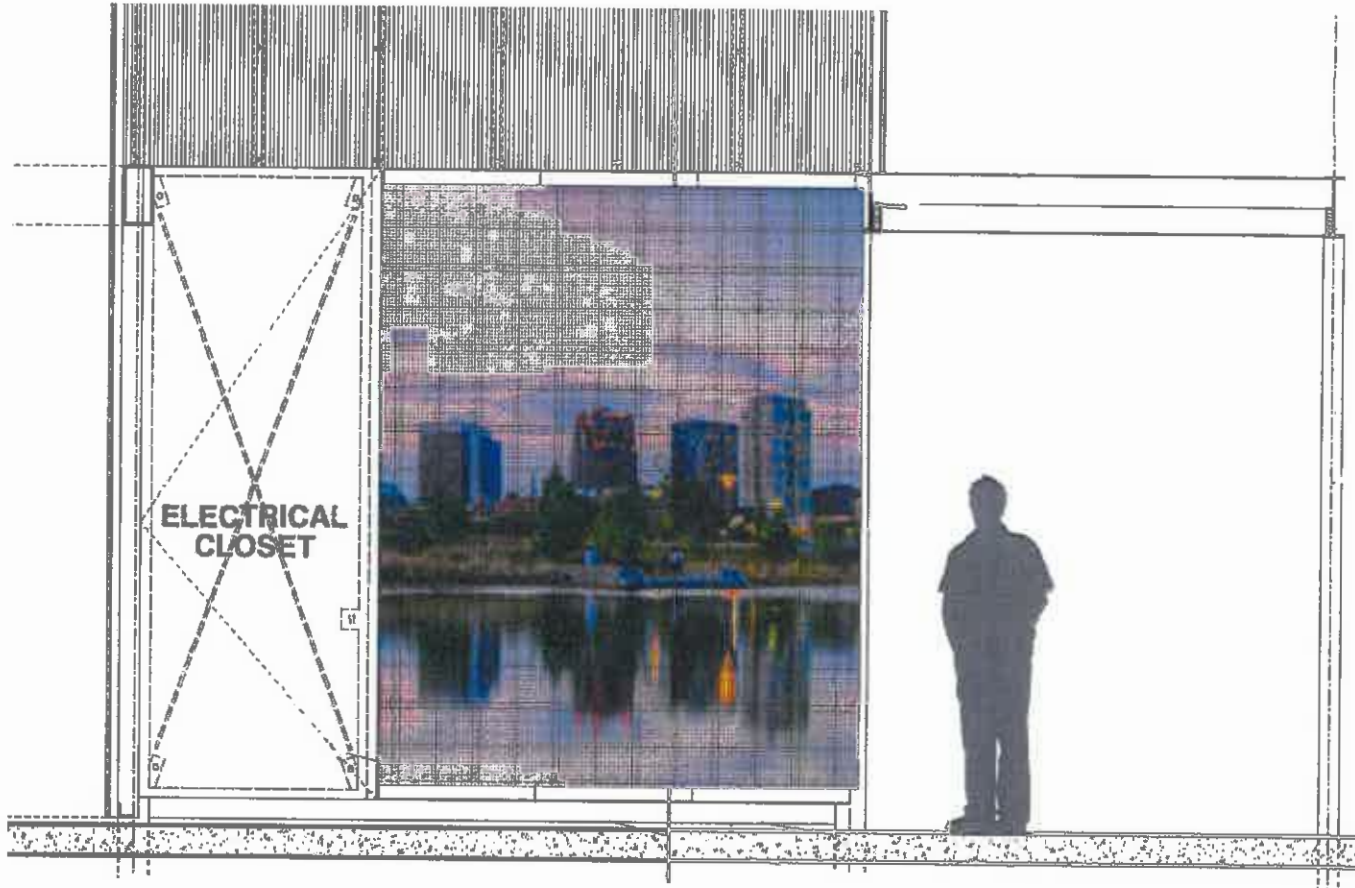
**One Pratt Park**  
DESIGN REF #: 19022110

**Context Photo**  
EXTERIOR

DESIGNER: CJB  
MANAGER: Drew Fravert

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PAGE:  
**2**



1 ELEVATION  
SCALE: 1/2" = 1'

STATUS  
 Client Review



155 West Park Drive Birmingham, AL 35271  
 205.940.7180 205.940.7181  
 205.940.7186 - fax  
 www.fravert.com

One Pratt Park  
 DESIGN REF #: 19022110

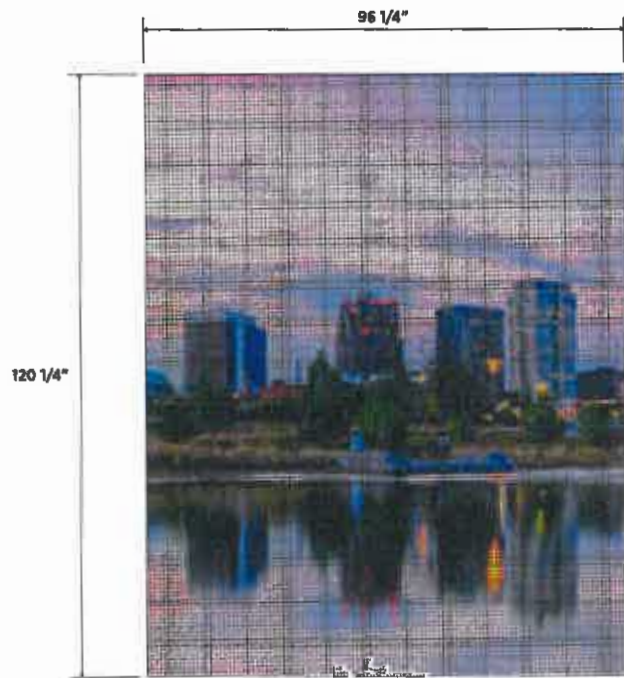
Typical Elevation  
 EXTERIOR

DESIGNER: CJB  
 MANAGER: Drew Fravert

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PAGE

3



1 FRONT VIEW  
SCALE: 1/2" = 1'



2 SIDE VIEW  
SCALE: 1/2" = 1'

OVERVIEW

MATERIALS / FINISHES

- Watchfire LED Panel
- RGB
- 16mm pixel pitch
- 180x144 pixels
- 10,000 NITs Max. Day
- 750 NITs Max. Night
- Approx. Weight: 987 lbs

INSTALLATION

ELECTRICAL

Total Electrical Draw -  
23 Amps at 120V

Electrical Requirement -  
(2) 20 Amp circuits at 120V

STATUS

Client Review



855 West Park Drive, Birmingham, AL 35201  
 205.940.7800 205.940.7191  
 205.940.7190 - fax  
 www.fravert.com

**One Pratt Park**  
 DESIGN REF #: 19022110

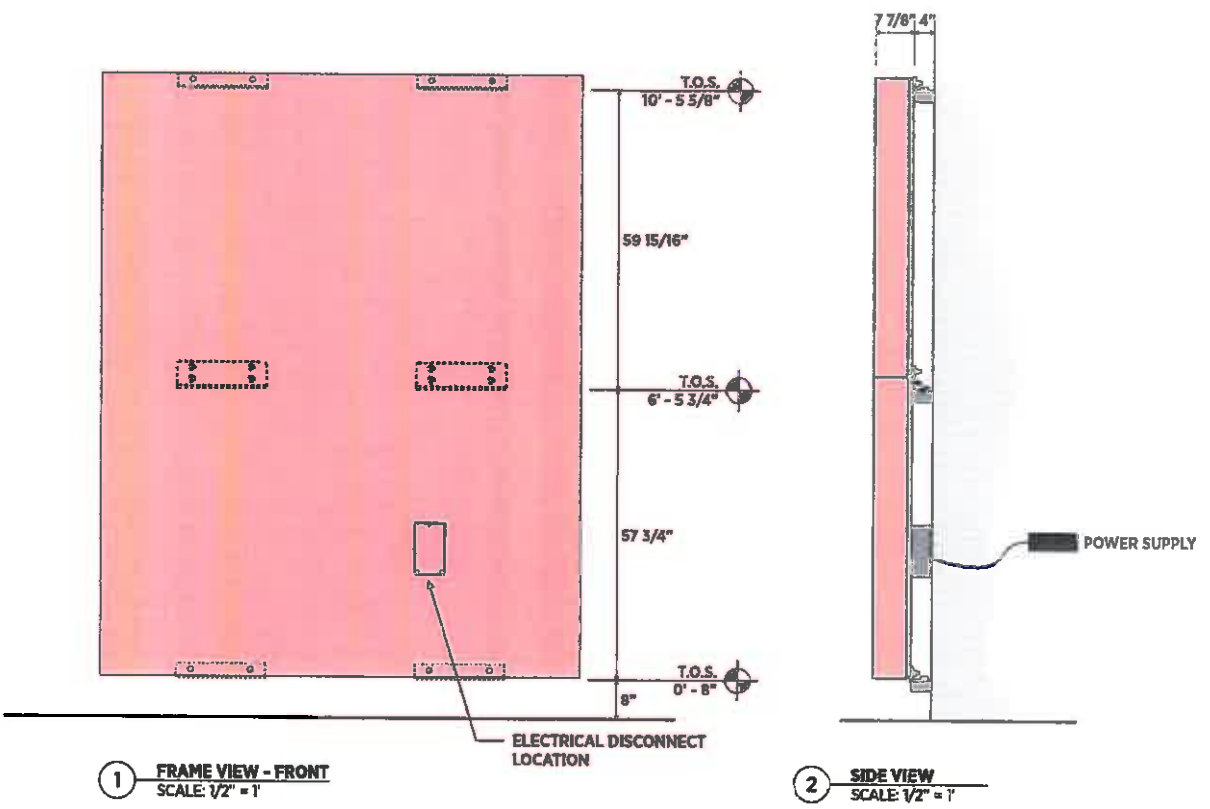
**Watchfire Panel**  
 EXTERIOR

DESIGNER: CJB  
 MANAGER: Drew Fravert

J:\19022110 - ONE PRATT PARK\Design

PAGE:

4



INSTALLATION  
Installation by Watchfire.

ELECTRICAL  
Total Electrical Draw -  
23 Amps at 120V  
Electrical Requirement -  
(2) 20 Amp circuits at 120V

STATUS  
■ Client Review



1 CONTEXT OVERLAY  
SCALE: 1/2" = 1'

MATERIALS / FINISHES

M2 2x4 Steel Tubing

INSTALLATION

Installation by Watchfire.

ELECTRICAL

Total Electrical Draw -  
23 Amps at 120V

Electrical Requirement -  
(2) 20 Amp circuits at 120V

STATUS

Client Review



555 West Park Drive Birmingham, AL 35211  
205.940.7100 1.800.745.7191  
205.940.7196 - fax  
www.fravert.com

One Pratt Park  
DESIGN REF #: 19022110

Watchfire Panel  
EXTERIOR

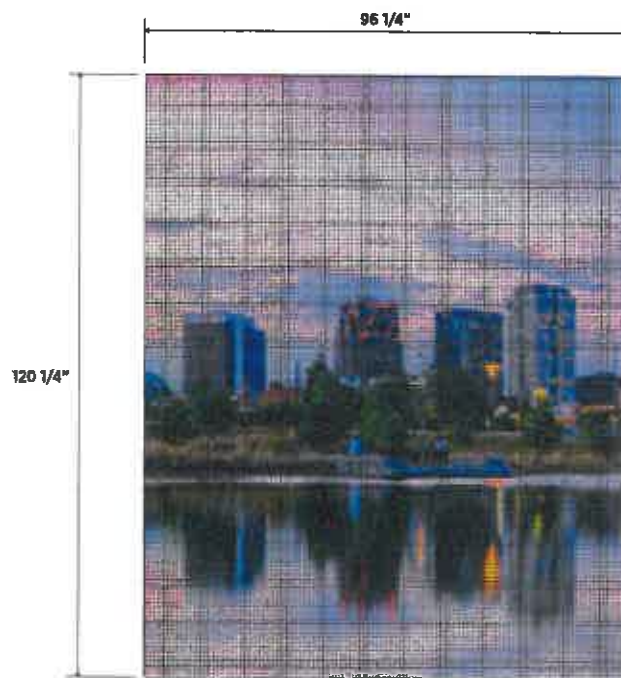
DESIGNER:  
CJB

MANAGER:  
Drew  
Fravert

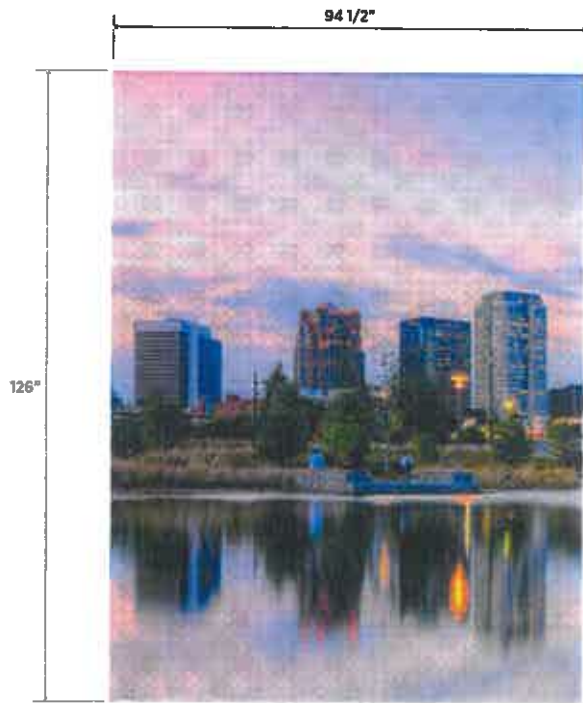
J:\19022110 - ONE PRATT PARK\Design

PAGE

6



1 **WATCHFIRE 16mm**  
SCALE: 1/2" = 1'



2 **PIXELFLEX 6.67mm**  
SCALE: 1/2" = 1'



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1.205.949.7190 - fax  
www.fravert.com

**One Pratt Park**  
DESIGN REF #: 19022110

**Image Quality Comparison**

EXTERIOR

DESIGNER:  
CJB

MANAGER:  
Drew  
Fravert

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PAGE:

7



**CODE REVIEW DATA**

**APPLICABLE CODES**

International Building Code	(IBC) 2018
International Fire Code	(IFC) 2018
International Fuel Gas Code	(IFGC) 2018
International Existing Building Code	(IEBC) 2018
International Mechanical Code	(IMC) 2018
International Plumbing Code	(IPC) 2018
National Electrical Code	(NEC) 2017
NFPA 101 - Life Safety Code	2015

ICC/ANSI A117.1  
2009

Technical Codes, City of Birmingham  
2015

Agreements with Birmingham and  
Adjacent Jurisdictions Accessibility Guidelines  
ASME A17.1

**BUILDING DESCRIPTION**  
Construction of a new community center and observation tower as part of a new City park for the Park Community.

**OCCUPANCY TYPES (IBC 210)**  
Minor Occupancy (IBC 210.2)  
Community Center  
A-3  
Observation Tower  
A-5

**GENERAL BUILDING HEIGHTS AND AREAS (IBC 504)**

Community Center	1-40 (L500)	6,000 (L5,000)
Observation Tower	UL/55 (2055)	UL (1875)

**CONSTRUCTION TYPES (IBC 601)**  
Community Center, Type V.B. Unprotected - Sprinklered  
Observation Tower, Type III.B. Unprotected - Unsprinklered

**FIRE-RESISTANCE-RATED ASSEMBLIES (IBC 703)**

Rating Requirements for Building Elements (IBC Table 703.1)	Type	Community Center
Structural Frame	TYPE V.B	TYPE V.B
Interior Columns, Girders, Trusses	0	0
Roofing	0	0
Walls	0	0
Partitions	0	0
Floor Construction	0	0
Interior Partitions	0	0
Roof Construction	0	0
Interior Partitions	0	0
Roof Construction	0	0

**MEANS OF EGRESS REQUIREMENTS (IBC 103)**

Assembly: Community Center - A-3  
Observation Tower - A-5

Maximum Floor Area Allowance (IBC 1034.1.2)  
Community Center (5,000 sq ft) 7 and (stairs only, not floor) 487 Occupants  
Observation Tower 5 not (staircase) 55 Occupants  
Actual Occupant Load will be Posted, Limited to 48 Occupants

Door Width (IBC 1034.1.1)  
Minimum = 32" Clear  
Community Center = 60"  
Observation Tower = 48"

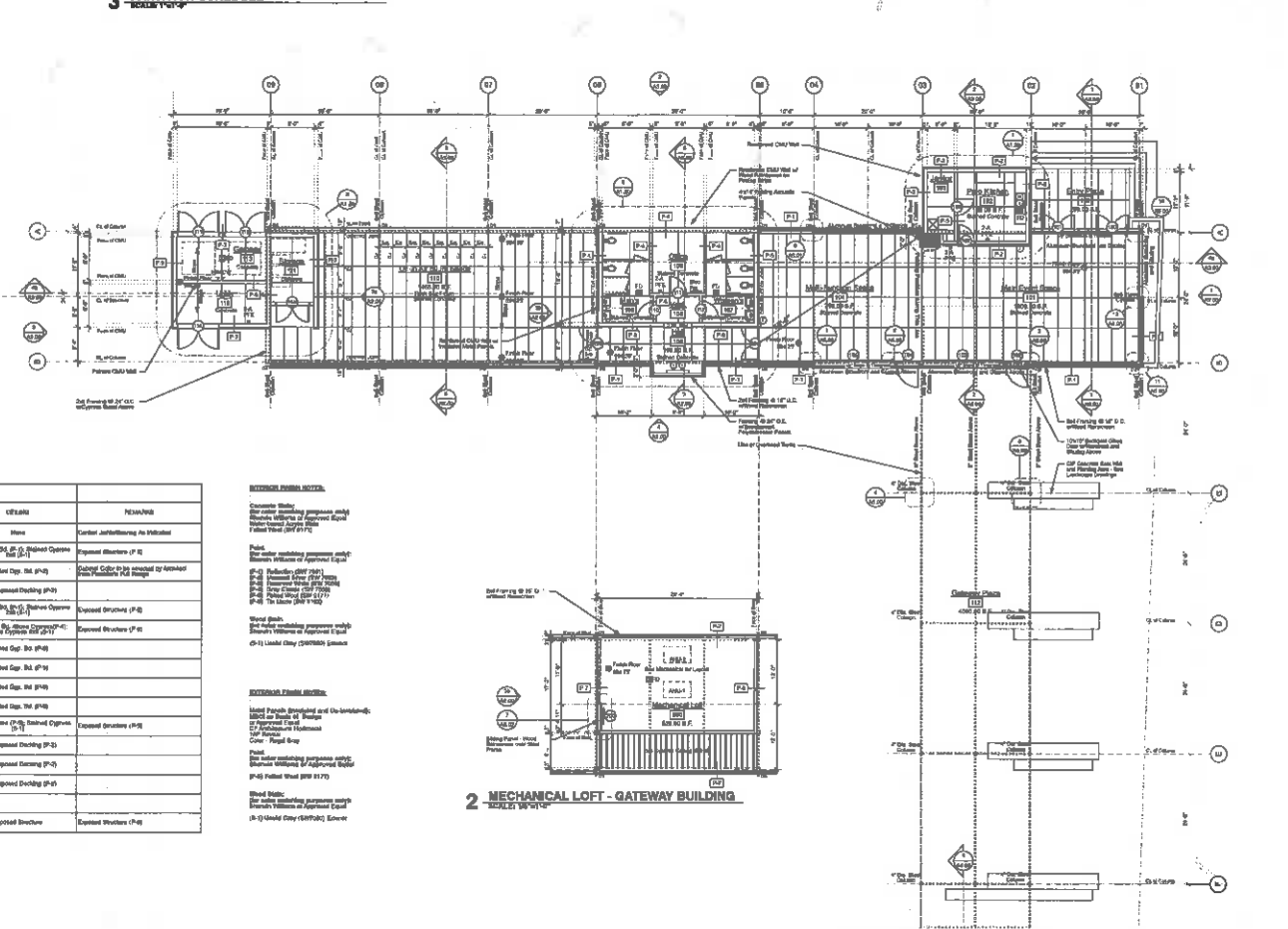
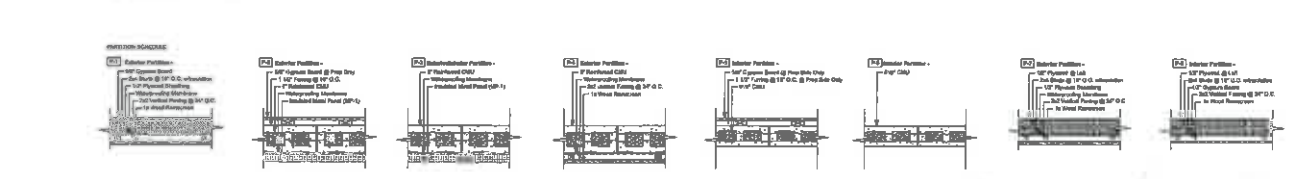
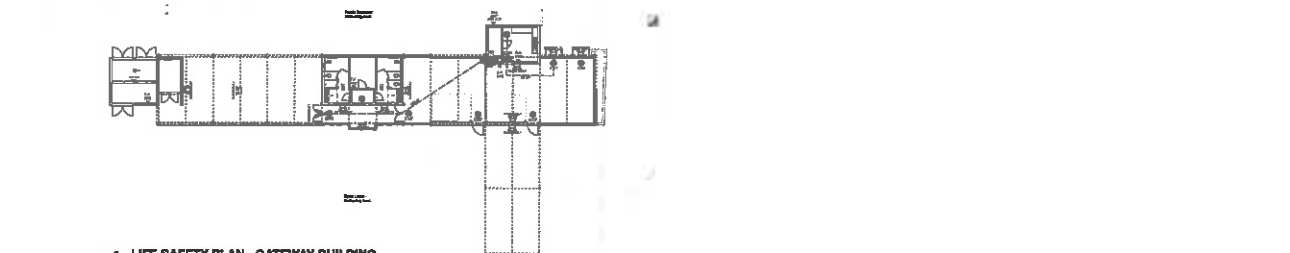
EAC Access Travel Distance (IBC 1036.1)  
Maximum With Riserless System = 200'  
Maximum Without Riserless System = 100'  
Community Center (pre-2007) = 100'  
Observation Tower (pre-2007) = 100'

Corridor Width (IBC 1037.2)  
Minimum = 80"  
2" per Occupant at Corridor  
2" per Occupant at Stair  
Community Center = 81" required / 180" provided  
Observation Tower = 38" required / 48" provided

Dead Ends (IBC 1039.3)  
Maximum Without Riserless System = 204'  
2" per Occupant at Stair  
Observation Tower = 38" required / 48" provided

Way of Egress for Occupant Load (IBC 1039.1)  
Occupant Load 1-500 Minimum 8' Clear

NOTE: See section PART 3 Single Gate for code requirements for buildings with a single exit.



**FINISH SCHEDULE**

NO.	ROOM NAME	FLOOR	TYPE / BASE	WALL	CEILING	FINISHING
100	Entry Plaza	Planned Concrete	None	None	None	Carpet (Antistatic) over Insulation
101	Men's Rest Room	Planned Concrete	Painted Top 1/2" @ 20' Sp. 8-1/2" @ 20'	Painted Cap. 3/4" (P-1)	Painted Top 3/4" @ 20' Sp. 8-1/2" @ 20'	Exposed Structure (P-2)
102	Prep Kitchen	Planned Concrete	Painted Top 1/2" @ 20' Sp. 8-1/2" @ 20'	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)
103	Janitor	Planned Concrete	None	Painted Cap. 3/4" (P-2)	Paint Exposed Decking (P-3)	Paint Exposed Decking (P-3)
104	Blind Kitchen Space	Planned Concrete	Painted Top 1/2" @ 20' Sp. 8-1/2" @ 20'	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)
105	Hall	Planned Concrete	Painted Top 1/2" @ 20' Sp. 8-1/2" @ 20'	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)
106	Yard	Planned Concrete	None	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)
107	Men's Restroom	Planned Concrete	None	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)
108	Office	Planned Concrete	None	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)
109	Men's Restroom	Planned Concrete	None	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)
110	Open Air Court	Planned Concrete	None	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)	Painted Cap. 3/4" (P-2)
111	Storage	Planned Concrete	None	Painted Cap. 3/4" (P-2)	Paint Exposed Decking (P-3)	Paint Exposed Decking (P-3)
112	Library	Planned Concrete	None	Painted Cap. 3/4" (P-2)	Paint Exposed Decking (P-3)	Paint Exposed Decking (P-3)
113	Decking	Planned Concrete	None	Painted Cap. 3/4" (P-2)	Paint Exposed Decking (P-3)	Paint Exposed Decking (P-3)
114	Mechanical Loft	Planned Plywood Decking	None	Painted Plywood Decking	Exposed Structure	Exposed Structure (P-2)

**TOM LEADER STUDIO**  
1122 South Blvd, Suite 1174  
Birmingham, AL 35222

**ONE PRATT**  
PARK DEVELOPMENT PLAN  
Birmingham, AL

City of Birmingham  
Birmingham City Development Department  
100 Park - 200 West  
170 North Park Street  
Birmingham, AL 35203  
Tel: 205-263-2333

**LANDSCAPE ARCHITECT**  
T.L. LANDSCAPE ARCHITECTURE  
3905 CHAMBERLAIN STREET  
BIRMINGHAM, AL 35217  
Tel: 205-944-3383

**ARCHITECT**  
DESIGN PARTNERS  
3000 1ST AVENUE SOUTH  
SUITE 100  
BIRMINGHAM, AL 35205  
Tel: 205-251-2511

**ELECTRICAL ENGINEER**  
MPC ENGINEERING  
1138 8TH AVENUE SOUTH  
BIRMINGHAM, AL 35205  
Tel: 205-462-0900

**MECHANICAL ENGINEER**  
MPC ENGINEERING  
1138 8TH AVENUE SOUTH  
BIRMINGHAM, AL 35205  
Tel: 205-462-0900

**STRUCTURAL ENGINEER**  
MPC ENGINEERING  
1138 8TH AVENUE SOUTH  
BIRMINGHAM, AL 35205  
Tel: 205-462-0900

**MECHANICAL ENGINEER**  
MPC ENGINEERING  
1138 8TH AVENUE SOUTH  
BIRMINGHAM, AL 35205  
Tel: 205-462-0900

Alert Date Revision

Key Plan

North

Scale:

Date 12/15/2016

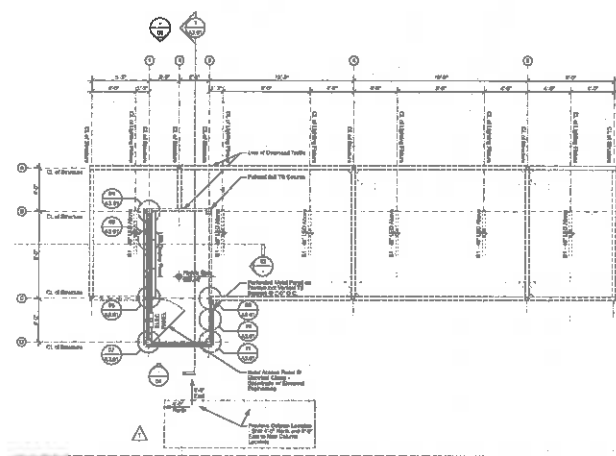
Plans ISSUE FOR CONSTRUCTION

Job Number 01720

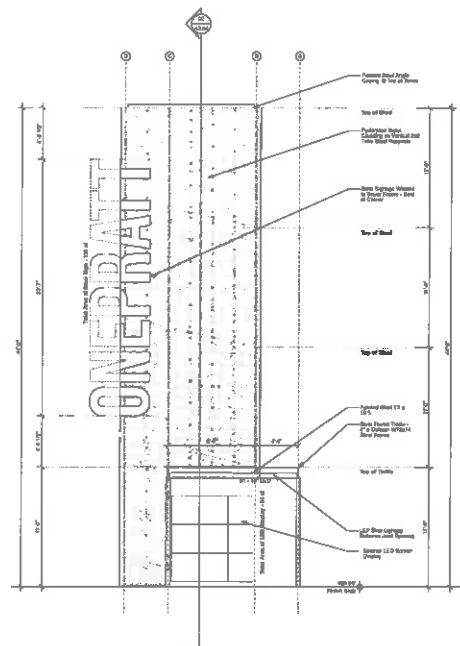
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**FLOOR PLANS - GATEWAY**

Drawing Number  
**A1.00**

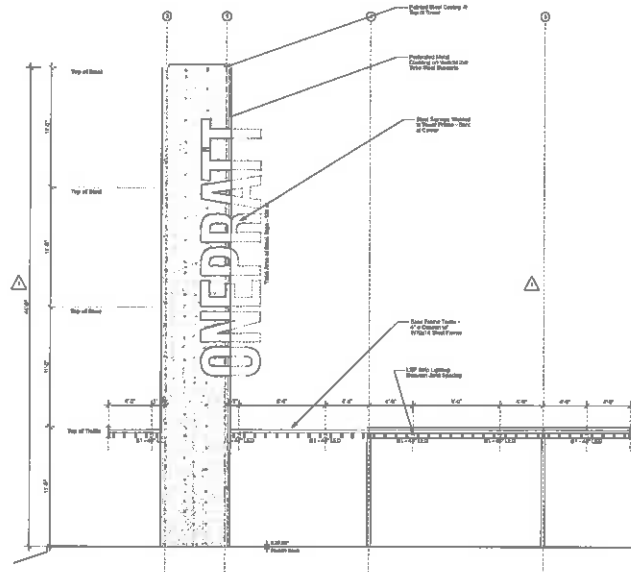




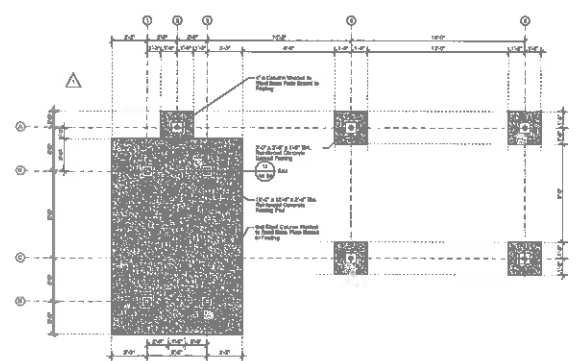
**01 TOWER: GROUND LEVEL PLAN**  
SCALE: 1/8"=1'-0"



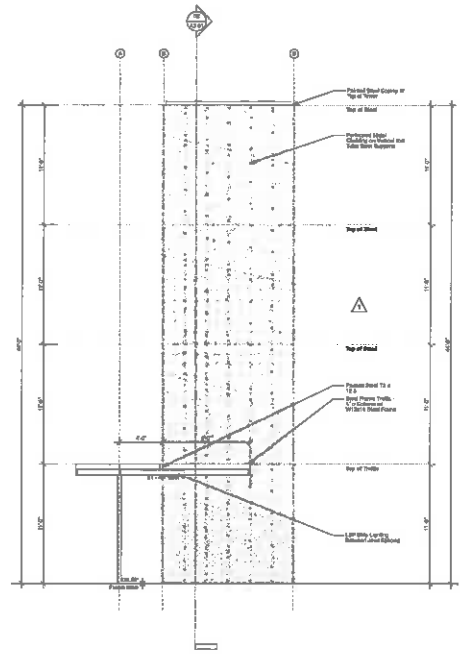
**03 EXTERIOR ELEVATION SOUTH**  
SCALE: 1/8"=1'-0"



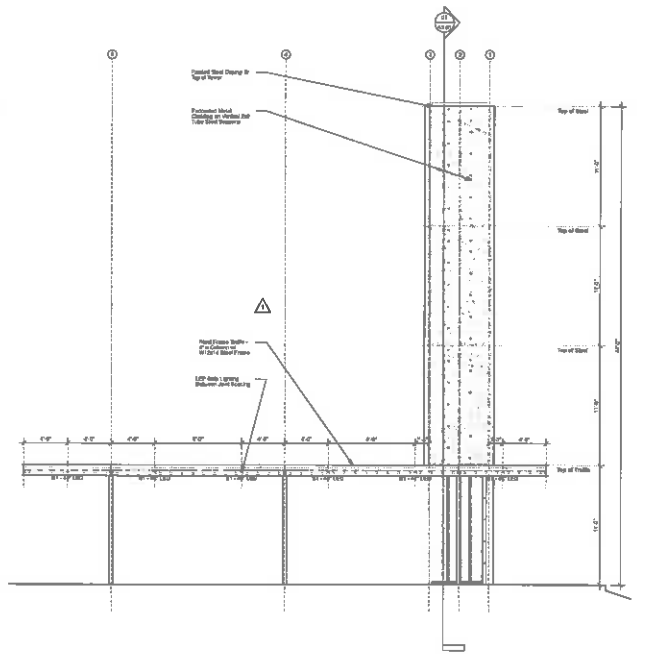
**04 EXTERIOR ELEVATION WEST**  
SCALE: 1/8"=1'-0"



**02 TOWER: FOUNDATION PLAN**  
SCALE: 1/8"=1'-0"



**05 EXTERIOR ELEVATION NORTH**  
SCALE: 1/8"=1'-0"



**06 EXTERIOR ELEVATION EAST**  
SCALE: 1/8"=1'-0"

**TOM LEADER STUDIO**  
1101 1/2 Street, Birmingham, AL 35204  
Tel: 205-254-2000

**ONE PRATT DEVELOPMENT PLAN**  
Birmingham, AL

City of Birmingham  
Department of Community Development  
200 West 25th Street  
Birmingham, AL 35204  
Tel: 205-254-2000

**CONSULTANTS**

**LANDSCAPE ARCHITECT**  
T.M. LANDSCAPE ARCHITECTS INC.  
195 CHANDLER STREET  
BIRMINGHAM, AL 35203  
Tel: 205-254-2000

**ARCHITECT**  
ONE PRATT DEVELOPMENT  
200 WEST 25TH STREET  
BIRMINGHAM, AL 35203  
Tel: 205-254-2000

**ELECTRICAL ENGINEER**  
HYCO ENGINEERS  
1101 1/2 STREET, SUITE 100  
BIRMINGHAM, ALABAMA 35203  
Tel: 205-462-0000

**MECHANICAL ENGINEER**  
DCA TFM AIRSIDE SOLUTIONS  
BIRMINGHAM, ALABAMA 35203  
Tel: 205-433-0075

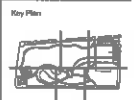
**CIVIL ENGINEER**  
DYNAMIC CIVIL SOLUTIONS  
225 19TH AVENUE NORTH  
BIRMINGHAM, ALABAMA 35203  
Tel: 205-256-7020

**STRUCTURAL ENGINEER**  
JWA ENGINEERS  
200 20TH NORTH, SUITE 100  
BIRMINGHAM, ALABAMA 35203  
Tel: 205-462-0000

**TRUCK/CRANE SPECIALIST**  
BROAD TRUCKING CORP.  
SCARLETT, GA  
2005 BUCKLE UP BLVD  
BIRMINGHAM, ALABAMA 35204  
Tel: 205-960-9900

Mark	Date	Description
△	5/19/2018	Revised #4

Scale/Graphic



Date: 02/19/2018

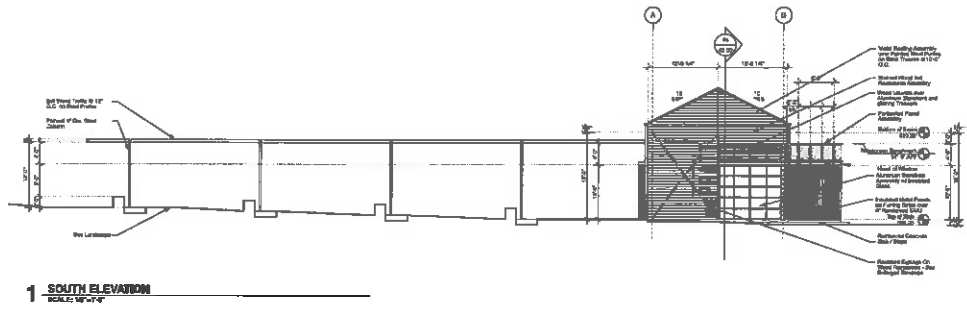
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Job Number: #1728

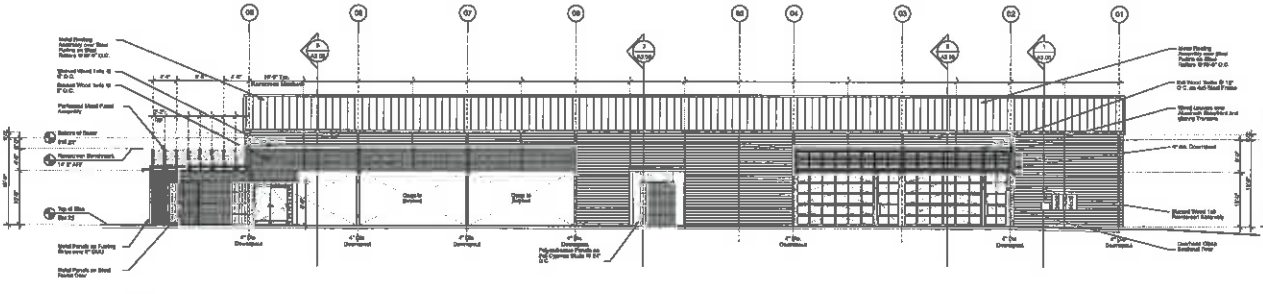
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Drawing Number

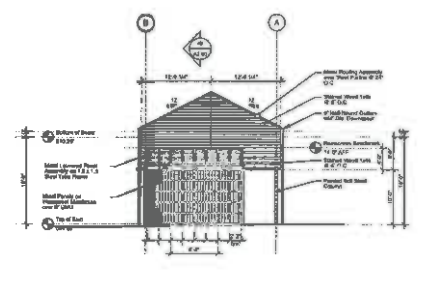
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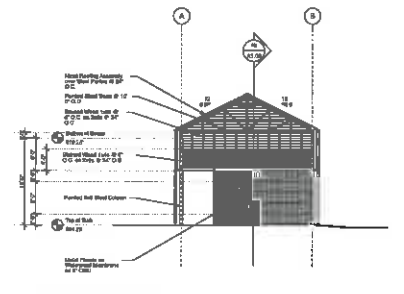
**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



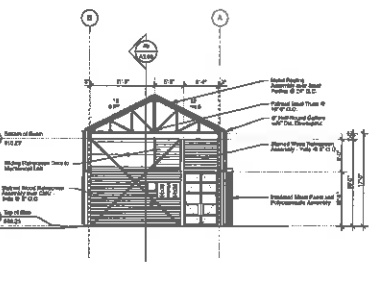
**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



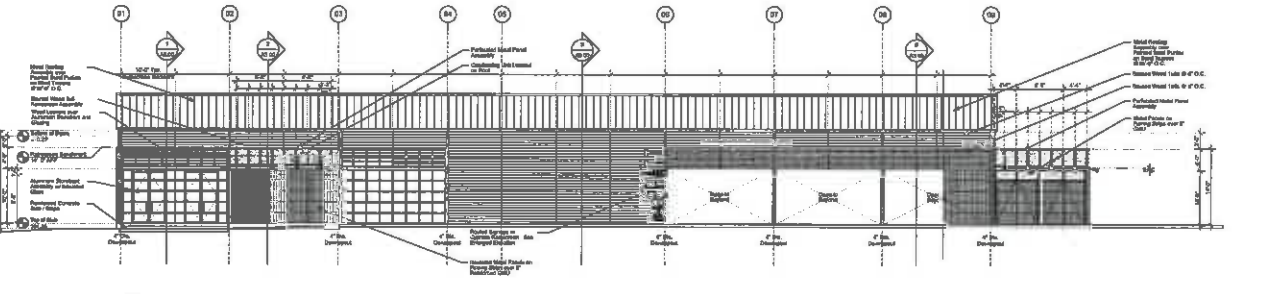
**3 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**3a SECTION ELEVATION**  
SCALE: 1/8" = 1'-0"

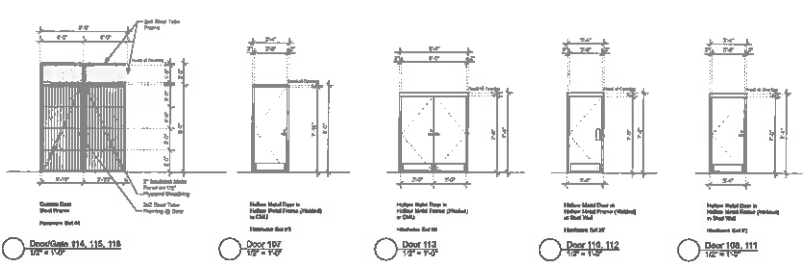


**3b SECTION ELEVATION**  
SCALE: 1/8" = 1'-0"

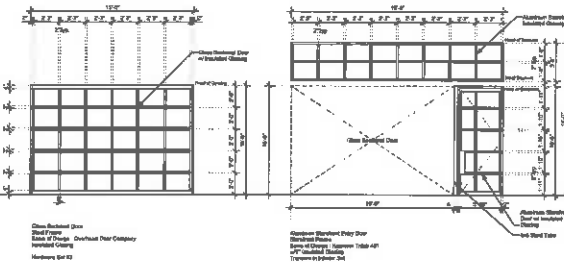


**4 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

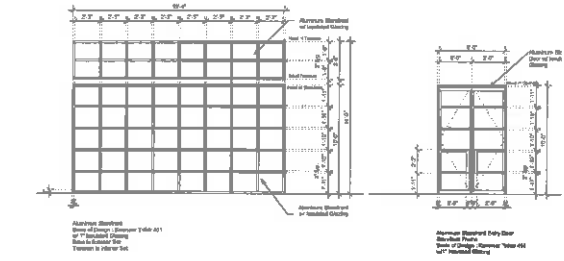
**5 DOOR AND WINDOW SCHEDULE**  
SCALE: 1/8" = 1'-0"



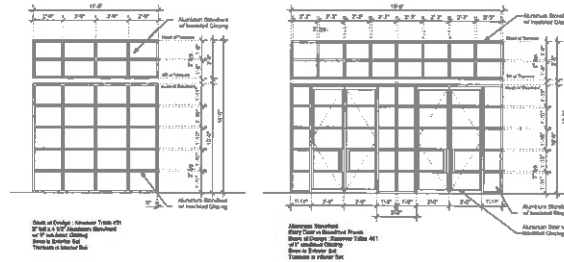
Door/Gate #14, 115, 118  
Door 107  
Door 113  
Door 116, 112  
Door 108, 111



West Facade Section, Door 103, 106  
West Facade Stone/wood and Door 105, 104



East Facade Stone/wood  
Stone/wood Door 108, 109



South Facade Stone/wood  
East Facade Stone/wood and Door 105, 101

**TOM LEADER STUDIO**

ONE PRATT  
PARK  
DEVELOPMENT  
PLAN

City of Birmingham  
Department of Community Development  
1300 First Avenue South  
Birmingham, AL 35203  
Tel: 205-333-2299

CONSULTANTS  
LANDSCAPE ARCHITECT  
T.L. LANDSCAPE ARCHITECTURE  
1500 CHANCELLERY DRIVE  
BIRMINGHAM, AL 35203  
Tel: 205-988-4188

ARCHITECT  
DESIGN/INTERIORS  
3000 1ST AVENUE SOUTH  
SUITE 200  
BIRMINGHAM, ALABAMA 35203  
Tel: 205-742-4771

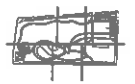
STRUCTURAL ENGINEER  
11000 CHANCELLERY  
SUITE 100  
BIRMINGHAM, ALABAMA 35203  
Tel: 205-988-8800

SOILS GROUP  
2504 17TH AVENUE NORTH  
SUITE 200  
BIRMINGHAM, ALABAMA 35202  
Tel: 205-933-2373

CIVIL ENGINEER  
CIVIL ENGINE SOLUTIONS  
200 7TH AVENUE SOUTH  
SUITE 200  
BIRMINGHAM, ALABAMA 35203  
Tel: 205-358-7239

PHYSICAL CHAIRMAN  
MSA ENGINEERS  
2000 17TH AVENUE NORTH  
SUITE 100  
BIRMINGHAM, ALABAMA 35203  
Tel: 205-988-8800

TRUCKING CONTRACTOR  
UNIVERSITY ENGINEERING  
CONSULTANTS, INC.  
1000 17TH AVENUE NORTH  
SUITE 200  
BIRMINGHAM, ALABAMA 35202  
Tel: 205-995-4779



Scale:  
Date: 12/15/2018  
Phase: ISSUE FOR CONSTRUCTION  
Job Number: #1728  
Drawing Title: ELEVATIONS - GATEWAY

Drawing Number:  
**A2.00**

Variance Request for Exterior Sign at One Pratt Park (709 Dugan Ave)

Hardship:

The proposed 96 ¼" wide x 120 ¼" tall digital display board is not intended for off-premise viewing. Evidence for this is the fact that this display only occurs on one side of the Tower Structure to which it is attached. If the intent was for it to be used for off-premise/vehicular viewing, there would have been units mounted to both sides of the Tower Structure so that it would be viewed by drivers travelling either direction on Dugan Ave. The intent of this display is for displaying narrative information and images regarding the history/construction of the park, that would require standing directly in front of it in order to be properly read/deciphered.

## Slaten, Tyler L

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**From:** Epstein, Kirk A.  
**Sent:** Thursday, September 05, 2019 8:31 AM  
**To:** Slaten, Tyler L  
**Cc:** Knox, Ken H.; Hatcher, Christopher  
**Subject:** RE: Signage Permits and Variance for One Pratt Park

Good morning Tyler,

I directly incorporated Marshall's comments into a justification statement for your review. Will this suffice?

"As an 8-acre park in the middle of Pratt, this variance request falls under the "Unique Characteristics" criteria of the Variance Standards of Review; additionally, there is no financial gain, there is no injury to neighboring property, and there is no harm to the public welfare. This park and community center are intentionally designed to catalyze redevelopment of one of our hardest hit neighborhoods, devastated most recently by the April 2011 tornadoes. The park is in the geographic center of the community, and is meant to be a marker for its rejuvenation. A symbol of pride. "One Pratt" is a name that the community came up with to describe their neighborhood (made up of Sandusky, Smithfield Estates, North-, Central-, South Pratt, and Thomas). On the community center, the name is routed into the cypress siding on both the street facades, facing both Hibernian Street and Lacey Road. Hibernian is a major connector into the community, and Lacey a prime candidate for new, multi-family housing, currently being considered by the City. More significantly (in scale but also importance), at the tower, "onePratt" is prominently displayed to landmark the park in the larger community. This is a metal sign, which will be silhouetted during the day and night, and meant as a beacon of pride. At this specific site, the tornado of 2011 made its most devastating impact, destroying several homes but also the library, which was and is a central piece of the neighborhood. The tower is meant to demonstrate the community's commitment to rebuilding as well as make the statement, "We are One Pratt!" The community and the City, as well as the Park Board, felt that this was critical. They also requested an education component be added to tell the history of Pratt, including but not limited to the tornados. The LED display is a system that provides the platform through which this story can be told, but also can be updated as the community grows."

Thank you,  
Kirk



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*Real Estate Manager*

Community Development

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**From:** Marshall Anderson <marshall@design-initiative.net>

**Sent:** Wednesday, September 4, 2019 4:19 PM

**To:** Epstein, Kirk A. <Kirk.Epstein@birminghamal.gov>

**Cc:** Slaten, Tyler L <Tyler.Slaten@birminghamal.gov>; Lea Ann Macknally <lmacknally@macknally.net>; Knox, Ken H.