

Meeting – February 13, 2020
Location - City Council Chambers, Third Floor, City Hall
Time - 2:00PM
Pre-Meeting - 1:00PM
Department of Planning Engineering & Permits Conference Room, Fifth Floor

Neighborhood: Woodlawn Staff Planner Moton/Abram ZBA2019-00089

Request: Variance request to allow a 6-foot-height wooden fence in the front yard along 65th St N.
Applicant: Norman Ward
Owner: Justin Holston
Site Address: 6510 3rd Avenue North
Zip Code: 35217
Description: Variance to allow for a 6-foot-height wooden fence in a front yard along 65th Street North pursuant to Title 1, Chapter 4, Article 5, Section 5, Subsection 3.A.1.
Property Zoned: R-3 Single Family District
Parcel Information: Parcel #: 012300153037008000, SW of Section 15, Township 17 S, Range 2 W

Variance:

The applicant is requesting a variance to allow an existing 6-foot-height wooden fence in the front yard.

Neighborhood Meeting:

The Wahouma Neighborhood Association meets on February 6, 2020; waiting on vote.

Public Notices:

Public notices were mailed on January 29, 2020.

Applicant's Justification:

The applicant provided documentation of the six (6) variance standard request questions. The information has been submitted as part of the ZBA Packet.

1. **Physical Characteristics of the Property.** The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owner of such property upon the strict application of any regulation enacted by the ordinance codified in this Ordinance.
2. **Unique Characteristics.** The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area, that the granting of the application is necessary for the preservation and enjoyment of a property right, and not merely to serve as a convenience to the applicant.
3. **Hardship Not Self-Imposed.** The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property.
4. **Financial Gain Not Only Basis.** Financial gain is not the sole basis for granting the variance. No Injury to Neighboring Property.
5. **The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.**
6. **No Harm to Public Welfare.** The granting of the variance will not be detrimental to the public welfare, increase the congestion in public streets, or increase the danger of fire, or imperil the public safety, or in any other respect impair the health, safety, comfort, morals, or general

welfare of the inhabitants of the City of Birmingham, and will not substantially impair the intent and purpose of this Ordinance.

History:

The parcel is located at 6510 3rd Avenue North and it resides within the R-3 Single-Family Zoning District. It is also located within the Floodplain area. The applicant shared the 6-foot-wooden fence is necessary to provide security to his property and it was installed in 2008, prior to the new zoning ordinance. After researching the property it was discovered a zoning enforcement cases was initiated against the property in October 2019 (ZEN 2019-00287) for utilizing a residential property for outdoor storage and the installation of a wooden fence without obtaining a fence permit.

Staff Analysis:

Staff conducted a site visit of the property on January 30, 2020 and observed the rear yard of the property was being utilized for outdoor storage, which is an action that violates the R-3 Single-Family Zoning District. Staff also identified the subject property does have a 6-foot-height wooden fence in which a significant portion appears to be a newer installation than other portions of the fencing; however, after researching past fence permits, the applicant failed to receive a fence permit for the portion of the fence that was erected in 2008 and the newer portion of the fence as well. The applicant property does display a hardship that is not self-imposed, the hardship is a unique characteristic in which the property has frontage along both 65th Street North and 3rd Avenue North. The legal front yard of the property is located along 3rd Avenue North; therefore, causing the frontage along 65th Street North to be the side yard of the property. A 6-foot-height wooden fence is allowed within the side yard of a property within the R-3 Single-Family Zoning District; however, the finished side of the fence must face the adjacent property and thoroughfare. The wooden fence as installed fails to meet the installation guidelines for fencing and must be corrected by the applicant/property owner.

Staff Recommendation

Staff believes the applicant has provided sufficient evidence to support the variance request. Therefore, staff believes the request has merit for approval and as such, should be **GRANTED** subject to the following conditions:

1. Review by the appropriate zoning inspector to insure compliance with the Board's decision.
2. Review and approved by the Floodplain staff.
3. Applicant must obtain a fence permit associated with the approval of this request within 30 days from the date of the Boards approval.
4. Applicant shall install fence per the City of Birmingham fencing guideline that states, "The finished side of the fence must face the adjacent property and thoroughfare."

ONE STOP PERMITTING

CITY OF BIRMINGHAM
DEPARTMENT OF PLANNING, ENGINEERING & PERMITS
710 20th Street, North
ROOM 210, CITY HALL
BIRMINGHAM, ALABAMA 35203

Randall L. Woodfin, Mayor

Edwin Revell, Director

<div style="border: 1px solid black; padding: 5px; text-align: center; font-weight: bold;">APPLICATION TO THE ZONING BOARD OF ADJUSTMENT</div>	<p>Date <u>NOVEMBER 22, 2019</u> Case No. <u>ZBA 2019-00089</u> Master No. _____ Project No. _____</p>
P.I.D. No.: <u>012300153037008888</u> Address Verified By: _____ Modified Address: _____	

Please print or type legibly and fill in all that apply

Site Address: 6510 3RD AVENUE NORTH Zip Code: 35217
 Location: _____
 Project Name: _____
 Lot(s) _____ Block(s) _____ Survey _____
 Lot(s) _____ Block(s) _____ Survey _____
 Lot(s) _____ Block(s) _____ Survey _____
 Metes and Bounds Attached

OWNER NAME: <u>JUSTIN HOLSTON</u> ADDRESS: <u>3812 VENUS AVENUE</u> CITY/STATE/ZIP: <u>BIRMINGHAM AL 35215</u> PHONE: () _____ CELLULAR: <u>(205) 905-0390</u> FAX: () _____ PAGER: () _____ EMAIL: <u>JHOLSTON120@GMAIL.COM</u>	APPLICANT* NAME: <u>NORMAN WARD</u> COMPANY NAME: _____ ADDRESS: <u>6510 3RD AVE NORTH</u> CITY/STATE/ZIP: <u>BIRMINGHAM AL 35217</u> PHONE: () _____ CELLULAR: <u>(205) 218-5202</u> FAX: () _____ PAGER: () _____ EMAIL: _____ *Applicant is required to be authorized by owner to undertake work
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TYPE OF REQUEST

Under the following provisions of the Zoning Ordinance of the City of Birmingham, Alabama, the Zoning Board of Adjustment is hereby requested to:

Hear an Appeal from a decision of the Director of the Department of Planning, Engineering and Permits Department (Article VIII, Sec. 5.3)

Modification – Modify the strict application of the provisions of the Zoning Ordinance (Article VIII, Sec. 5.3)

Variance – Authorize a variance from the terms of the Zoning Ordinance (Article VIII, Sec. 5.2)

<input type="checkbox"/> Accessory Structure	<input type="checkbox"/> Adult Establishments	<input type="checkbox"/> Child/Adult Care	<input type="checkbox"/> Communal Living Facility	<input checked="" type="checkbox"/> Fences
<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Height	<input type="checkbox"/> Manufactured Housing	<input type="checkbox"/> Non-Confirming Uses	<input type="checkbox"/> Parking
<input type="checkbox"/> Public	<input type="checkbox"/> Signs	<input type="checkbox"/> Yards	<input type="checkbox"/> Other _____	

Special Exception – Cause a permit to be issued for a special exception (Article VIII, Sec. 5.4 or Article V, Sec. 1)

<input type="checkbox"/> Accessory Structure	<input type="checkbox"/> Adult Establishments	<input type="checkbox"/> Child/Adult Care	<input type="checkbox"/> Communal Living Facility	<input type="checkbox"/> Fences
<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Height	<input type="checkbox"/> Manufactured Housing	<input type="checkbox"/> Non-Confirming Uses	<input type="checkbox"/> Parking

Description of Work or Request: VARIANCE TO ALLOW FOR 6 FT FENCE IN FRONT YARD ALONG 65TH STREET NORTH AND CHAIN LINK FENCE ALONG 65TH STR
 If you have a hardship/practical difficulty, please explain: _____

SECTION II TEXT CHANGE FOR STAFF USE

Amendment to: Title: _____ Article: _____ Title: _____

See Attachment
 In words substantially as follows: _____

PLANS REQUIRED	PERMIT FEE WAIVED	REFERENCE CASES:
<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	_____

COMMENTS: _____

CERTIFICATION

I fully understand that, upon the filing of this application and the payment of the filing fee to defray the expenses of investigation and processing this application, there shall be no refunds made to me and that the payment of said filing fee shall in no way entitle me to the change, amendment, supplement, modification or repeal as herein applied for. If an amendment to text of Zoning Ordinance is proposed, please complete applicant data. I hereby certify that I have read this application and that all information contained herein is true. If any portion of this information, either intentionally or unintentionally, is false or is a misrepresentation of the material facts, the permit or process granted will be void. I further certify that if I am not the owner, I have proper authorization from the owner to act as representative on his/her behalf and that I may be required to provide written documentation of such authorization to the City of Birmingham.

Signature (Owner) *Norman Ward* Date 11-22-19
 Signature (Owner) _____ Date _____

Hearing Date: _____ Hearing Time: _____ Location: **Room 300, City Hall**

Filing Fees:	Single Family Residential Zone District	-	\$100.00
	Multi-Family Residential and Commercial Zone District	-	\$500.00
	Appeals	-	\$300.00

Attention:
Robert Walker
Neighborhood President

Variance request to allow for a 6 ft. wooden fence in a back yard along 65th Street North pursuant to Title 1, Chapter 4, Article 5, Section 5, Subsection 3.A.1.

Variance Standard Request

1. Physical Characteristics of the property-

We Justin Holsten & Norman Ward find that complying with the ordinance for a 6 ft. wooden fence in back yard along 65th Street North is for privacy and protection minimizing the risk of trespassers, theft of property, and vandalism within the area I'm living.

2. Unique Charateristics – 6 ft. existing chain-link fence has been installed since the 1950's with one entrance along side a 6ft. Wooden fence panels installed inside of 6-ft. Chain-link fence in back-yard, for the preservation and enjoyment of the property right.

3. Hardship not Self-Imposed- The wooden fencing was installed in 2008 and existed before the new zoning ordinances.

4. Financial Gain Not only Basis- Financial gain is not the sole basis for granting this variance, but is significant for the safety, protection, & perservation of the property. family has lived in this property since 1952.

5. No Injury to the Neighboring Property- The granting of this variance request will not impair any properties or improvements in the area, devalue neighboring properties within the area surrounding 65th Street North & 3rd Ave. North properties has no neighbors.

6. No Harm to public welfare- The granting of this variance does not expose people to additional risks through our actions.

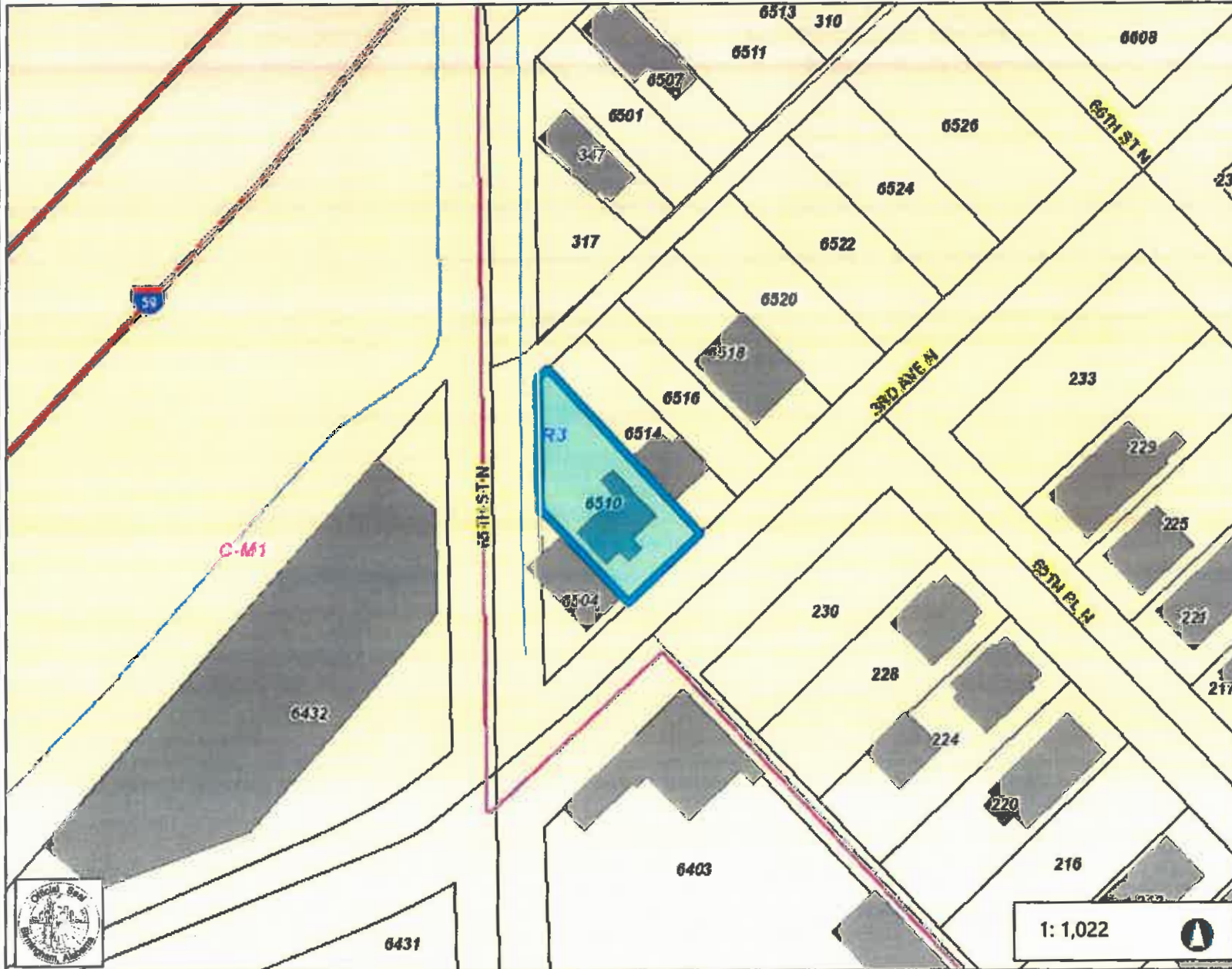
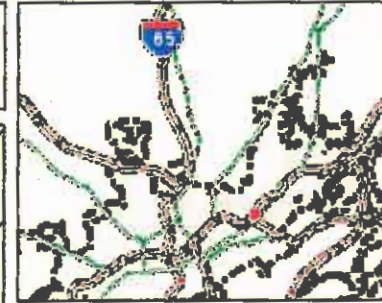
Norman Ward

By: _____

Notary Public



ZBA2019-00089 ZONING MAP



- Legend**
- Centerline Labels
 - Zoning Outline
 - Railroad
 - Alleys
 - Local Roads
 - Arterials
 - County Highways
 - State Highways
 - US Highways
 - Interstates
 - Limited Access
 - Ramp
 - Buildings
 - Hydrology Lines
 - Hydrology Areas
 - Parcels
 - City Parks
 - Airport
 - City Limits (solid)



1: 1,022

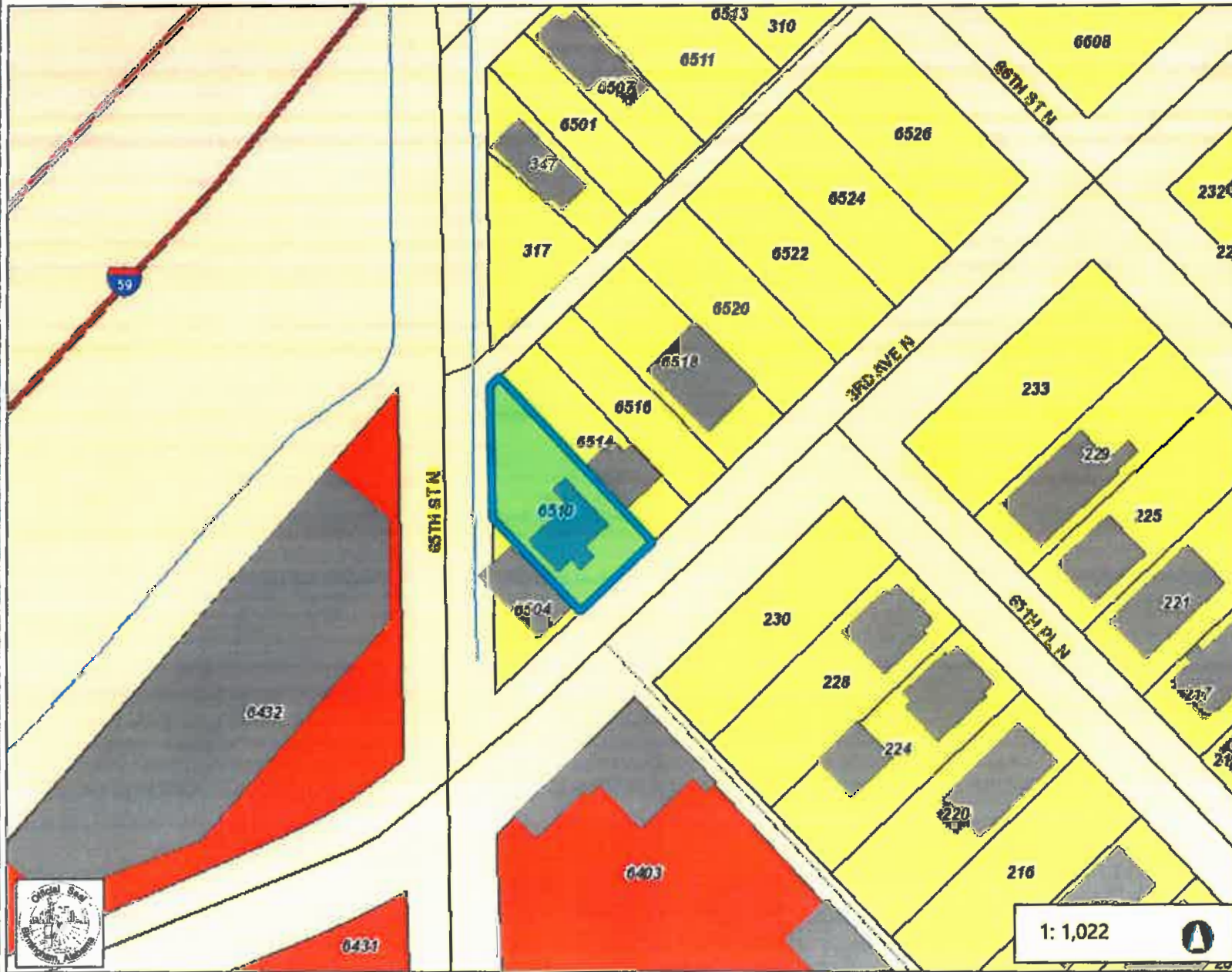


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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes



ZBA2019-00089 ADOPTED LAND USE MAP



Legend

- Centerline Labels
- + Railroad
- Alleys
- Local Roads
- Arterials
- County Highways
- State Highways
- US Highways
- Interstates
- Limited Access
- Ramp
- Buildings
- Hydrology Lines
- Hydrology Areas
- Parcels
- City Parks
- Airport
- Adopted LandUse Plan**
 - Residential-Low
 - Residential-Medium
 - Residential-High
 - Neighborhood Commercial
 - General Commercial
 - MXU-Low
 - MXU-Medium
 - MXU-High



170.4 0 85.18 170.4 Feet

1: 1,022

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Notes

PARCEL ID: 012300153037008000

SOURCE: TAX ASSESSOR RECORDS **TAX YEAR:** 2018

DATE: Wednesday, January 29, 2020 2:54:29 PM

OWNER: HOLSTON JUSTIN CHRISTOPHER

ADDRESS: 3812 VENUS AVE

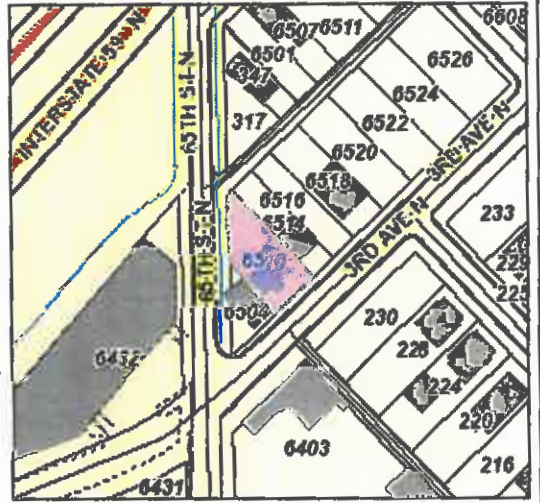
CITY/STATE: BIRMINGHAM AL

ZIP+4: 35215

SITE ADDR: 6510 3RD AVE N

CITY/STATE: BHAM, AL

ZIP: 35206



LAND: \$15,800.00

BLDG: \$20,900.00

OTHER: \$0.00

AREA: 6,121.45

ACRES: 0.14

SUBDIVISION INFORMATION:

NAME GROVELAND

BLOCK: 1

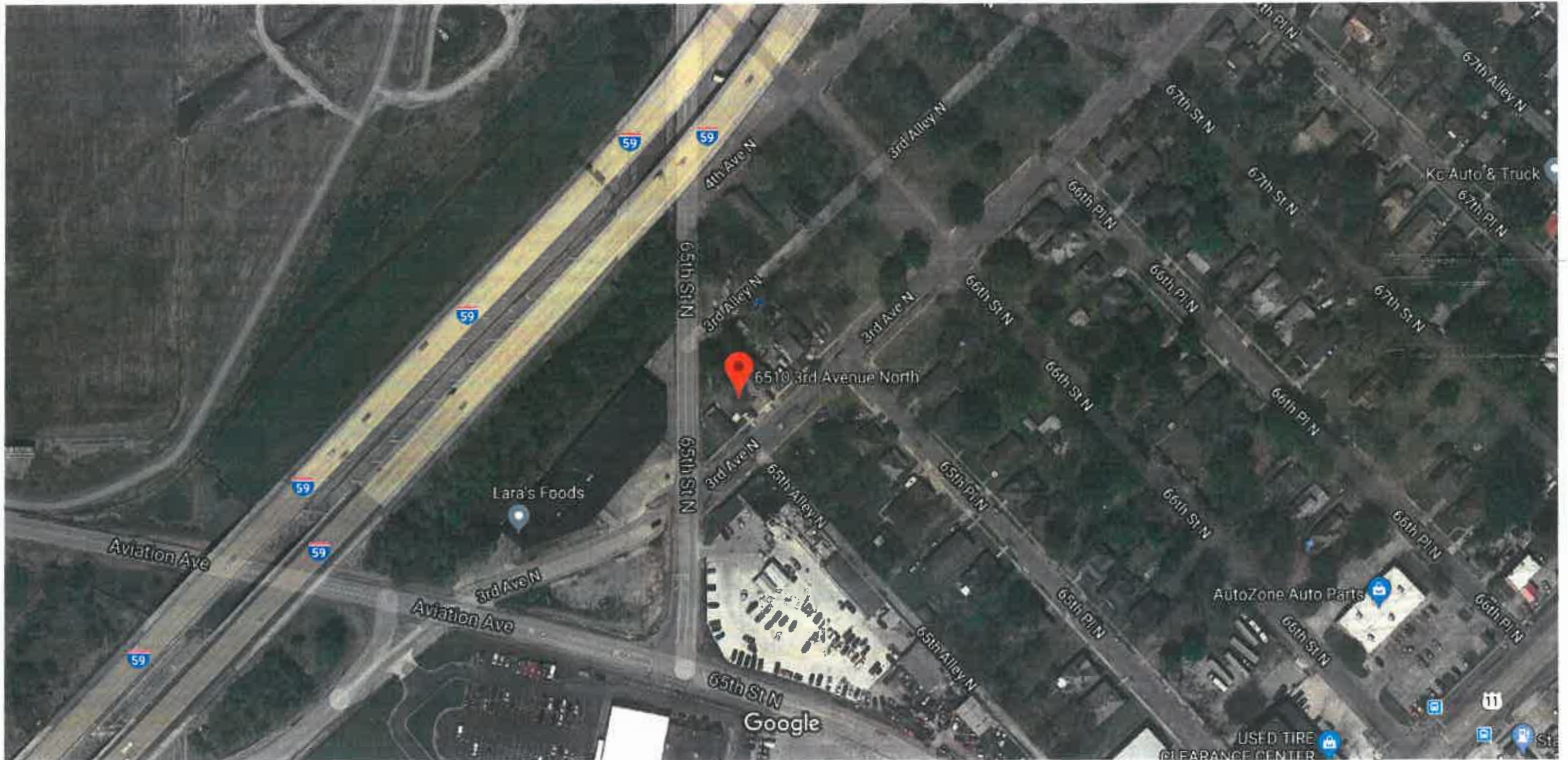
LOT: 11&

Section: 15-17-2W
Land Slide Zones: Not in Land Slide Zones
Historic Districts: Not in Historic Districts
Commercial Revitalization District: Not in Commercial Revitalization District
Fire District: Not in Fire District
Flood Zones: In Flood Zones
Tax Increment Financing District: Not in Tax Increment Financing District
Neighborhoods: Wahouma (605)
Communities: EAST LAKE (6)
Council Districts: District - 5 (Councilor: Darrell O'Quinn)
Zoning Outline: R3
Demolition Quadrants: DEM Quadrant - 4
Impaired Watersheds: Impaired Watershed - Upper Village Creek
Strategic Opportunity Area: Not in Strategic Opportunity Area
RISE Focus Area: In RISE Focus Area
Tax Delinquent Property: Not in Tax Delinquent Property
EPA Superfund: Not in EPA Superfund
Opportunity Zones: In Opportunity Zones
Judicial Boundaries: JEFFERSON

Parcel mapping and description information is obtained from the Jefferson County Tax Assessor's Office. This site does not provide real-time information and may contain errors. All data should be verified with the official source. The City of Birmingham makes no warranty as to the accuracy of the data and assumes no responsibility for any errors. Data from the Tax Assessor's Office may not be available for all parcels.



6510 3rd Ave N
ZBA2019-00089





65TH ST N

ALLEY

6510

5' Chain link

5' wood fence

3RD AVE N

ZBA2019-00089 Site Visit



Front yard area off 65th St N



Front yard area off 65th St N

ZBA2019-00089 Site Visit



Alley view in the rear of the property



Front yard area off 65th St N

ZBA2019-00089 Site Visit



Front yard area off 65th St N



Front yard area off 65th St N

ZBA2019-00089 Site Visit



Adjacent property 6504 3rd Ave N chain link fence in the front yard



Adjacent property 6504 3rd Ave N chain link fence in the front yard









Meeting – February 13, 2020
Location - City Council Chambers, Third Floor, City Hall
Time - 2:00PM
Pre-Meeting - 1:00PM
Department of Planning Engineering & Permits Conference Room, Fifth Floor

Neighborhood: Acipco-Finley Staff Planner Moton ZBA2019-00093

Request: Sign Variances
Applicant: Johnathan Woher
Owner: Kimberly Stmad
Site Address: 1617 Finley Blvd
Zip Code: 35204
Description: A variance to allow 914 SF of on premise signage instead of the 672 SF of on premise signage allowed pursuant Title 1, Chapter 4, Article V, Section 11, Subsection 7.1.a

A variance to allow a resumption of a legal nonconforming 100FT pole sign instead of the 75FT allowed pursuant to Title 1, Chapter 4, Article V, Section 11, Subsection 7.3
Property Zoned: C-2 General Business District
Parcel Information: Parcel #: 012200233019001000, SW of Section 23, Township 17 S, Range 3 W

Variances:

A variance to allow 914 SF of on premise signage instead of the 672 SF of on premise signage allowed pursuant Title 1, Chapter 4, Article V, Section 11, Subsection 7.1.a

A variance to allow a resumption of a legal nonconforming 100FT pole sign instead of the 75FT allowed pursuant to Title 1, Chapter 4, Article V, Section 11, Subsection 7.3

Neighborhood Meeting:

The Acipco-Finley Neighborhood Association meeting on February 5, 2020 was cancelled due to inclement weather.

Public Notices:

Public notices were mailed on January 30, 2020.

Applicant's Justification:

The applicant provided documentation of the six (6) variance standard request questions. The information has been submitted as part of the ZBA Packet.

1. Physical Characteristics of the Property. The property at 1617 Finley Boulevard is located below the grade of Interstate 65 and is not easily visible from the highway interchange which justifies the need for the variance to allow reuse of the existing high-rise sign.
2. Unique Characteristics. Speedway believes that there are unique circumstances associated with the proposed sign variances. The site contains an existing 400 SF high-rise sign. Refacing the existing sign accounts for a substantial amount of the proposed sign area for the site. The presence of the high rise-sign is a substantial factor in making the proposed redevelopment of the site viable in that it provides necessary visibility of the proposed fuel sales to potential Speedway customers on Interstate 65. Further, a substantial portion of the proposed sign area- 157.93 SF of the proposed sign area (41.43 SF of reader board and all of the truck fueling canopy signs)-are not visible from Finley Boulevard and is oriented to the rear of the site.

3. **Hardship Not Self-Imposed.** - The existing high rise sign was constructed by the former fuel establishment that has vacated the site. Variances are requested to allow reuse of the existing high-rise sign and to allow signs for a new commercial use.
4. **Financial Gain Not Only Basis.** The proposed sign variances are requested in order to allow continued use of the high-rise sign on the property to provide visibility from Interstate 65 while also providing necessary signs needed for customers that are traveling on Finley Boulevard and 16th Street. Approval of the variance provides the necessary visibility to allow safe access to the site.
5. **No Injury to Neighboring Property.** We believe that the granting of the sign variance will; not be injurious to other property or improvements in the area since the site currently contains the high-rise sign. We believe that granting the sign variances will allow re-investment in the property, generate jobs and positively impact the overall value of the neighborhood.
6. **No Harm to Public Welfare.** Speedway is not aware of any harm to the public welfare or public safety of the area. We have coordinated the proposed site design with the city traffic engineer, ALDOT, and public utility service providers. 1617 Finley Boulevard is a vacant former convenience store and fueling operation. The proposal by Speedway will invigorate the clean up this vacant, underutilized commercial property.

History:

The parcel is located at 1617 Finley Boulevard and it resides within the C-2 (General Business) District. It is also located within the Floodplain. Currently, the lot is vacant with an existing 100FT pole sign on the property. The applicant is pursuing to build a gas service station and utilize the existing 100FT pole sign. In the year 1982, the first service station was built on this property along with the 100FT pole sign. Prior to our current zoning ordinance, the City of Birmingham did not have height regulations for signs during the time that the 100FT pole sign was built. Therefore, it is a legal nonconforming sign. In 2010, sign permits were issued for Mobil gas station. The sign permits were SGN2010-00395, SGN2010-00396 and SGN2010-00397, and were described as “convert the gasoline canopy from Conoco specs. to Mobil specs. No store work, no diesel canopy work, no hi-rise sign work, re-work the existing id price sign.” Those permits were the last sign permits issued on that property; therefore, the sign has been considered as abandoned for approximately 10 plus years.

Staff Analysis:

Staff conducted a site visit of the property on January 30, 2020 and viewed the vacant lot and the 100ft pole sign near the intersection of 7th St N and 22nd Ave N Birmingham AL 35204. It was observed that the high rise sign on the property has a noticeable height difference than the competing gas service stations in the area. The ZBA request is a variance to allow 914sq of signage instead of the 672sf and a variance to allow resumption of the abandoned 100ft legal nonconforming pole sign. Based upon the plans provided, the square footage of the existing high rise sign alone is 400sf. The utilization of the high rise sign is the cause for a variance to allow more signage. If the applicant did not utilize the high rise sign, the total square footage on the property would be 272sf and the amount would be in compliance of the zoning ordinance. The applicant failed to identify a hardship that will not be self-imposed and the proposed sign plan does not meet the character of the neighborhood or the existing retail within the community.

The applicant does meet requirements of the Variance Standards.

Staff Recommendation

Staff believes the applicant has failed to provide sufficient evidence to support the variance request. Therefore, staff believes the request does not have merit for approval and as such, should be REJECTED. If the Board approves the applicant's request, staff would recommend the following conditions:

1. Review by the appropriate zoning inspector to insure compliance with the Board's decision.
2. The applicant shall comply with the sign plan as approved by the Board.

ZBA Case ZBA2019-00093
Speedway Store #101129 Birmingham, AL
1617 Finley Boulevard
Response to Variance Standards

Below are responses to the variance standards related to the requested sign variances for the proposed Speedway store with fuel sales at 1617 Finley Boulevard, ZBA Case ZBA2019-00093.

1. **Physical Characteristics of the Property.** The property at 1617 Finley Boulevard is located below the grade of Interstate 65 and is not easily visible from the highway interchange which justifies the need for the variance to allow reuse of the existing high-rise sign.

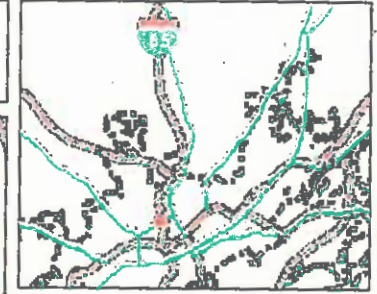
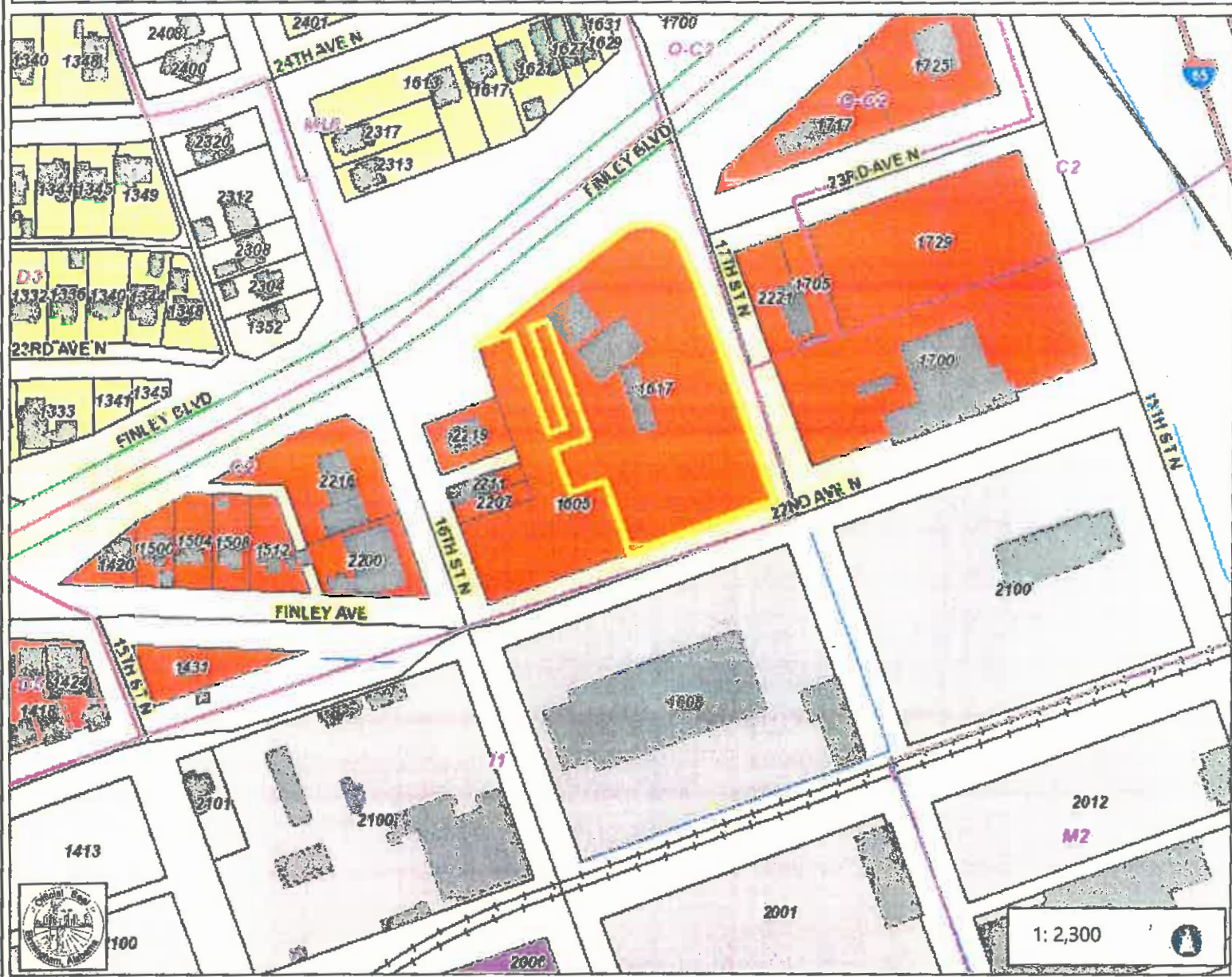
2. **Unique Characteristics.** Speedway believes that there are unique circumstances associated with the proposed sign variances. The site contains an existing 400 SF high-rise sign. Refacing this existing sign accounts for a substantial amount of the proposed sign area for the site. The presence of the high-rise sign is a substantial factor in making the proposed redevelopment of the site viable in that it provides necessary visibility of the proposed fuel sales to potential Speedway customers on Interstate 65. Further, a substantial portion of the proposed sign area – 157.93 SF of the proposed sign area (41.43 SF of reader board and all of the truck fueling canopy signs) – are not visible from Finley Boulevard and is oriented to the rear of the site.

3. **Hardship Not Self-Imposed.** The existing high-rise sign was constructed by the former fuel establishment that has vacated the site. Variances are requested to allow reuse of the existing high-rise sign and to allow signs for a new commercial use.

4. **Financial Gain Not Only Basis.** The proposed sign variances are requested in order to allow continued use of the high-rise sign on the property to provide visibility from Interstate 65 while also providing necessary signs needed for customers that are traveling on Finley Boulevard and 16th Street. Approval of the variance provides the necessary visibility to allow safe access to the site.

5. **No Injury to Neighboring Property.** We believe that the granting of the sign variance will not be injurious to other property or improvements in the area since the site currently contains the high-rise sign. We believe that granting the sign variances will allow re-investment in the property, generate jobs and positively impact the overall value of the neighborhood.

6. **No Harm to Public Welfare.** Speedway is not aware of any harm to the public welfare or public safety of the area. We have coordinated the proposed site design with the city traffic engineer, ALDOT, and public utility service providers. 1617 Finley Boulevard is a vacant former convenience store and fueling operation. The proposal by Speedway will invigorate and clean up this vacant, underutilized commercial property.

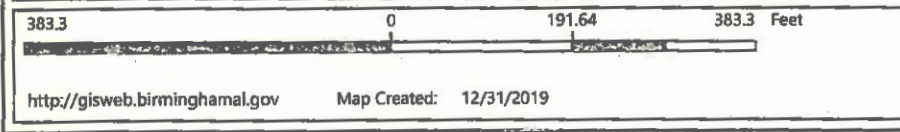


Legend

- Centerline Labels
- Zoning Outline
- Railroad
- Alleys
- Local Roads
- Arterials
- County Highways
- State Highways
- US Highways
- Interstates
- Limited Access
- Ramp
- Buildings
- Hydrology Lines
- Hydrology Areas
- Parcels
- City Parks
- Airport

Adopted Land Use Plan

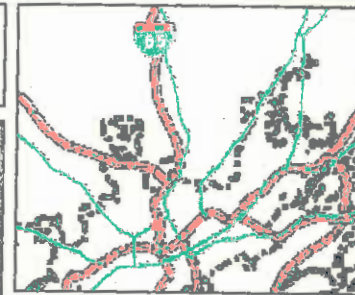
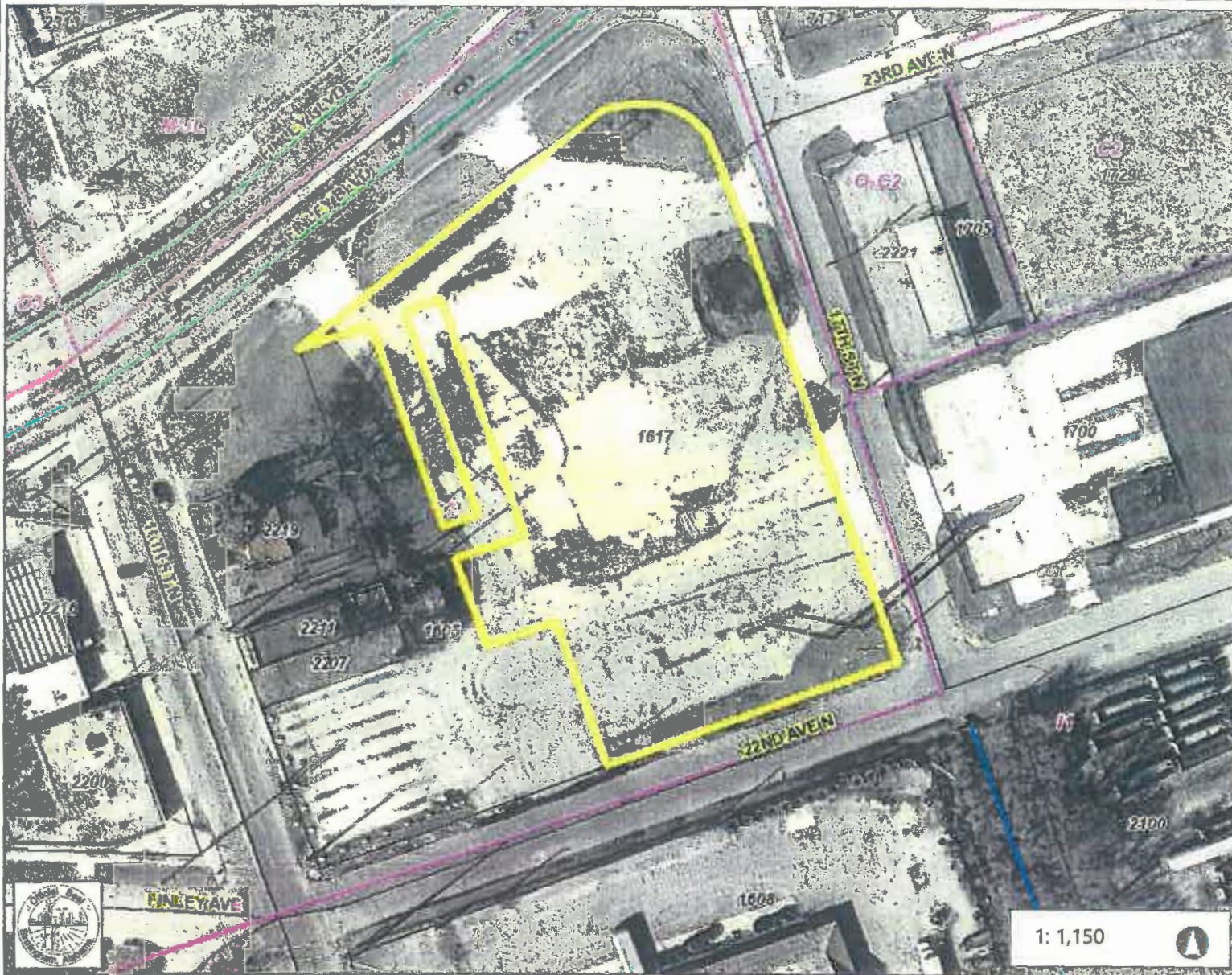
- Residential-Low
- Residential-Medium
- Residential-High
- Neighborhood Commercial
- General Commercial
- MXU-Low
- MXU-Medium



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Notes

1: 2,300



Legend

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- Arterials
- County Highways
- State Highways
- US Highways
- Interstates
- Limited Access
- Ramp
- Hydrology Lines
- Hydrology Areas
- Parcels
- City Parks
- Airport
- City Limits (use with Imagery)
- 2015 Imagery
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3



FINLEY AVE

1: 1,150



191.6 0 95.82 191.6 Feet

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Notes

ZONED C2

NEW BUILD - #101129
C4600-LEFT HAND
QUIK-BRIK v2.0 (FOOD DESTINATION)

1617 FINLEY BLVD.
AL-378 MILE POST 1.40
JEFFERSON COUNTY
BIRMINGHAM, AL

OWNER:



500 SPEEDWAY DRIVE
ENON, OH 45323
937-864-3000

ENGINEERING:



SSOE, Inc.
100 East Campus View Blvd., Suite 340
Columbus, OH 43235
T. (614) 985-1507
Project # 019-00860-00



GENERAL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING	[Symbol]	[Symbol]
CONCRETE SIDEWALK	[Symbol]	[Symbol]
HIGH STRENGTH CONCRETE PAVEMENT	[Symbol]	[Symbol]
NORMAL STRENGTH CONCRETE PAVEMENT	[Symbol]	[Symbol]
HIGH STRENGTH ASPHALT PAVEMENT	[Symbol]	[Symbol]
NORMAL STRENGTH ASPHALT PAVEMENT	[Symbol]	[Symbol]
PROPERTY LINE	[Symbol]	[Symbol]
CHARLIE FENCE	[Symbol]	[Symbol]
RIGHT-OF-WAY	[Symbol]	[Symbol]
RETRACT	[Symbol]	[Symbol]
EASEMENT	[Symbol]	[Symbol]
SAWCUT LINE	[Symbol]	[Symbol]
UNDERGROUND ELECTRIC	[Symbol]	[Symbol]
UNDERGROUND COMMUNICATIONS	[Symbol]	[Symbol]
OVERHEAD COMMUNICATIONS	[Symbol]	[Symbol]
SANITARY SEWER	[Symbol]	[Symbol]
NATURAL GAS	[Symbol]	[Symbol]
DOMESTIC WATER	[Symbol]	[Symbol]
STORM SEWER	[Symbol]	[Symbol]
IRRIGATION LINE	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
SITE LIGHTING	[Symbol]	[Symbol]
CATCH BASIN	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
RELEVANT	[Symbol]	[Symbol]
CLEAN OUT	[Symbol]	[Symbol]
SEWER	[Symbol]	[Symbol]
WATER	[Symbol]	[Symbol]
AIR COMPRESSOR	[Symbol]	[Symbol]
MAJOR CONTIGUES	[Symbol]	[Symbol]
MINOR CONTIGUES	[Symbol]	[Symbol]
SHADING BENCH	[Symbol]	[Symbol]



REV.	DATE	DESCRIPTION
01	06/11/2019	ISSUE FOR PERMIT
02	06/11/2019	ISSUE FOR CONSTRUCTION

DESIGNED BY: [Name], DATE: [Date]
 CHECKED BY: [Name], DATE: [Date]
 DATE OF CONSTRUCTION: [Date]
 PROJECT: [Name], DATE: [Date]

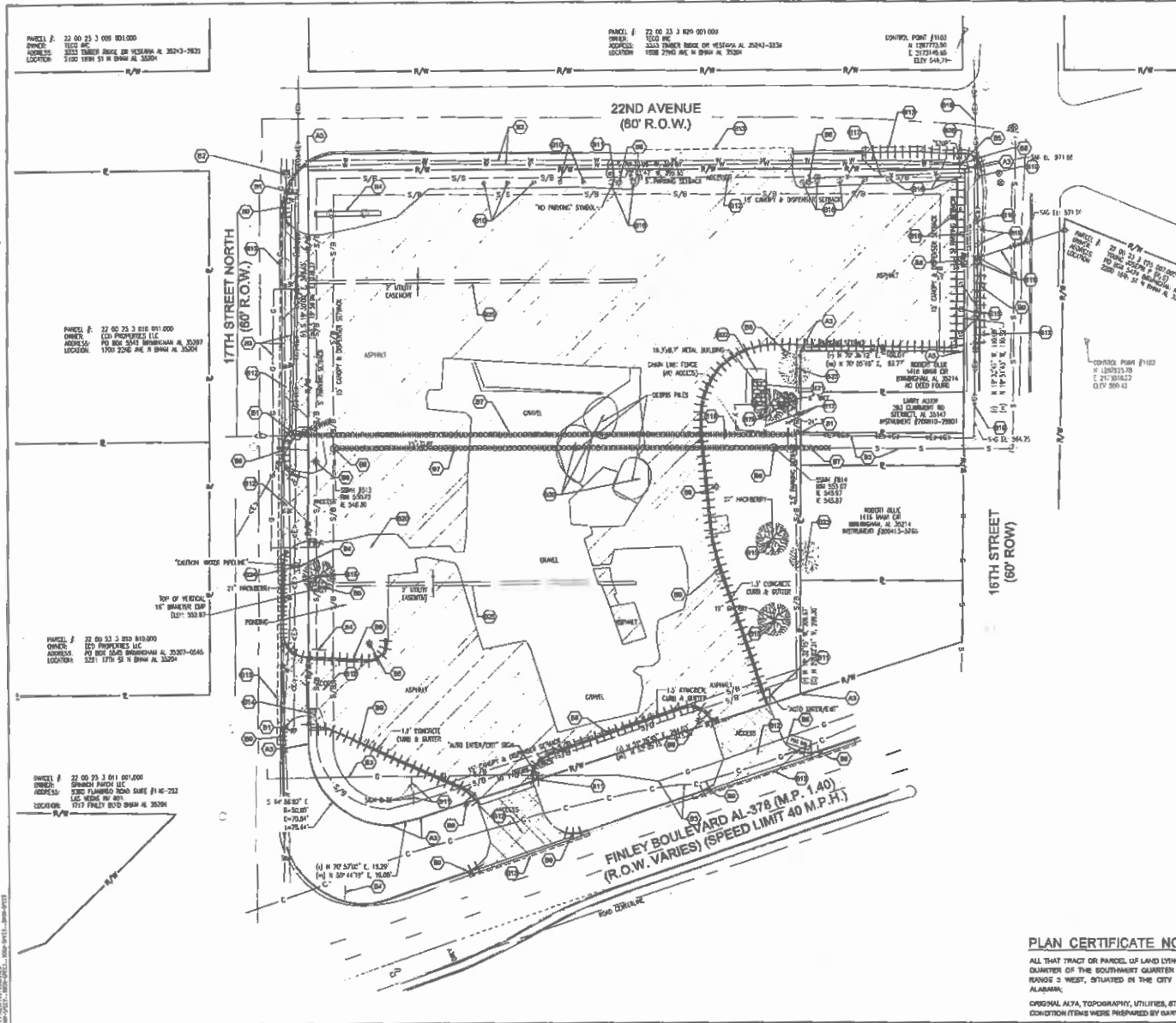


COVER SHEET

NEW BUILD
1617 FINLEY BLVD
JEFFERSON COUNTY
BIRMINGHAM, AL

DATE OF	101129
REVISED	14895
REVISION	
DATE	
BY	
CHECKED	
DATE	
BY	
DATE	
BY	

101129-CV



- A. GENERAL NOTES:**
1. CLEAR ENTIRE SITE AND PROPERLY DISPOSE OF ALL MATERIALS UNLESS OTHERWISE SPECIFIED ON THE PLANS OR BY THE OWNER REPRESENTATIVE.
 2. CONTRACTOR SHALL NOTIFY THE OWNER OF ANY UNFORESEEN CONDITIONS.
 3. THE PROPERTY CORNERS SHALL BE MARKED BY OWNER AND PROTECTED AND MAINTAINED BY CONTRACTOR.
 4. IF DAMAGED AS A RESULT OF THIS CONTRACT, ANY ITEMS TO REMAIN SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 5. CONTRACTOR SHALL NOTIFY LOCAL UTILITIES 72 HRS. PRIOR TO DEMOLITION.
 6. CONTRACTOR SHALL INSPECT GENERAL SITE PRIOR TO CONSTRUCTION START AND VERIFY THAT THE ALTA SURVEY INDICATES THE CORRECT TOPOGRAPHY. IF ANY INACCURACIES ARE NOTED, PLEASE CONTACT OWNERS REPRESENTATIVE.
 7. CONTRACTOR SHALL COORDINATE DESTRUCTION WORK WITH ALL UTILITIES AND COMPLY WITH REGULATIONS AND STANDARDS FOR EACH UTILITY.
 8. WHEN REMOVING EXISTING UTILITY, CAP UTILITY AT THE MARK.
 9. CONTRACTOR SHALL PROVIDE BARRIERS, PERIMETER FENCING, PARTITIONS, PLUMBING, BRACING, BRIDGING, LIGHTS, AND SIGNS AS NECESSARY TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES.
 10. CONTRACTOR SHALL EXERCISE CARE TO PREVENT DUST, VIBRATION, SETTLEMENT, OR OTHER IMPACT TO ADJACENT PROPERTY.
 11. THE REMOVAL OF ASBESTOS, LEAD, ETC CONTAINING MATERIALS SHALL BE IN ACCORDANCE WITH REGULATORY REQUIREMENTS, RECOMMENDATIONS IN THE ENVIRONMENTAL SURVEY AND OWNER CONTRACT DOCUMENTS.
- B. KEYED NOTES:**
1. EXISTING UTILITY POLE TO REMAIN AND BE PROTECTED.
 2. EXISTING UTILITY STRUCTURE TO REMAIN AND BE PROTECTED.
 3. EXISTING UTILITY LINE TO REMAIN AND BE PROTECTED.
 4. EXISTING SIGN TO REMAIN AND BE PROTECTED.
 5. EXISTING SIGN TO BE REMOVED AND REPLACED.
 6. EXISTING UTILITY STRUCTURE TO BE REMOVED.
 7. EXISTING UTILITY LINE TO BE REMOVED.
 8. EXISTING LIGHT POLE TO BE REMOVED. ALL ASSOCIATED CONCRETE SHALL BE REMOVED.
 9. EXISTING CURB TO BE REMOVED.
 10. EXISTING ISOLANDS TO BE REMOVED.
 11. EXISTING SIGN TO BE REMOVED.
 12. REMOVE EXISTING APPROACHES AND DEPRIVED CURB IN RIGHT OF WAY AS NECESSARY.
 13. SAW CUT, REMOVE AND PROPERLY DISPOSE OF CONCRETE AND ASPHALT NECESSARY FOR CONSTRUCTION ACTIVITIES. ALL MATERIALS REMOVED DURING CONSTRUCTION SHALL BE DISPOSED OF OFF SITE AS DIRECTED BY OWNERS REPRESENTATIVE.
 14. RAISE OR LOWER ELEVATION AS REQUIRED AND SET NEW UTILITY STRUCTURES. PROTECT EXISTING STRUCTURE TO REMAIN DURING CONSTRUCTION.
 15. EXISTING TREE TO BE REMOVED.
 16. REMOVE EXISTING CONCRETE BLOCS.
 17. EXISTING SHAM LHM POLES TO BE REMOVED.
 18. EXISTING UTILITY POLE TO BE REMOVED.
 19. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR RELOCATION OF UTILITY POLE, UTILITIES AND C.Y. MARKS.
 20. DEMO PILE TO BE CLEARED FROM SITE.
 21. EXISTING STRUCTURE TO BE REMOVED.
 22. EXISTING CONCRETE TO BE REMOVED.
 23. EXISTING TREE TO REMAIN AND BE PROTECTED.
 24. EXISTING WATER SERVICE TO BE ABANDONED PER CITY REQUIREMENTS.
 25. EXISTING SANDWICH TO BE REMOVED.
 26. FIRE HYDRANT TO BE REMOVED AND RELOCATED.

BENCHMARK INFORMATION:

CONTROL POINT #1103 N 129702.78 E 217501.22 ELEV 300.43	CONTROL POINT #1103 N 129773.50 E 217546.45 ELEV 300.47
--	--

ALL SURVEY DATA PROVIDED REFERENCED IN HAD 83 (2011) LEGAL MAPS.

DEMOLITION LEGEND

DESCRIPTION	SYMBOL
PROPERTY LINE	— P —
RIGHT-OF-WAY	— RW —
SETBACK	— S/B —
BENCHMARK	— B —
CURB TO BE REMOVED	
UTILITY TO BE REPOSED	— U —
DEMOLITION LINE	— D —
DEMOLITION ASPHALT PAVEMENT	[Hatched Pattern]
DEMOLITION CONCRETE PAVEMENT	[Cross-hatched Pattern]
DEMOLITION BUILDING	[Brick Pattern]

PLAN CERTIFICATE NOTE:

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 11 SOUTH, RANGE 3 WEST, situated in the CITY OF BIRMINGHAM, JEFFERSON COUNTY, ALABAMA.

ORIGINAL ALTA, TOPOGRAPHY, UTILITIES, STORM DRAINAGE, AND ALL OTHER EXISTING CONDITION ITEMS WERE PREPARED BY BAKER USA FOR SPEEDWAY LLC.

811

Know what's below.
Call before you dig.

SSOE, Inc.
 1500 2nd Avenue North, Suite 200
 Birmingham, AL 35203
 Phone: 205.251.8800
 Fax: 205.251.8801
 Email: info@ssoe.com
 Project # 19020686

Speedway.
 1500 2nd Avenue North, Suite 200
 Birmingham, AL 35203
 Phone: 205.251.8800
 Fax: 205.251.8801
 Email: info@speedway.com

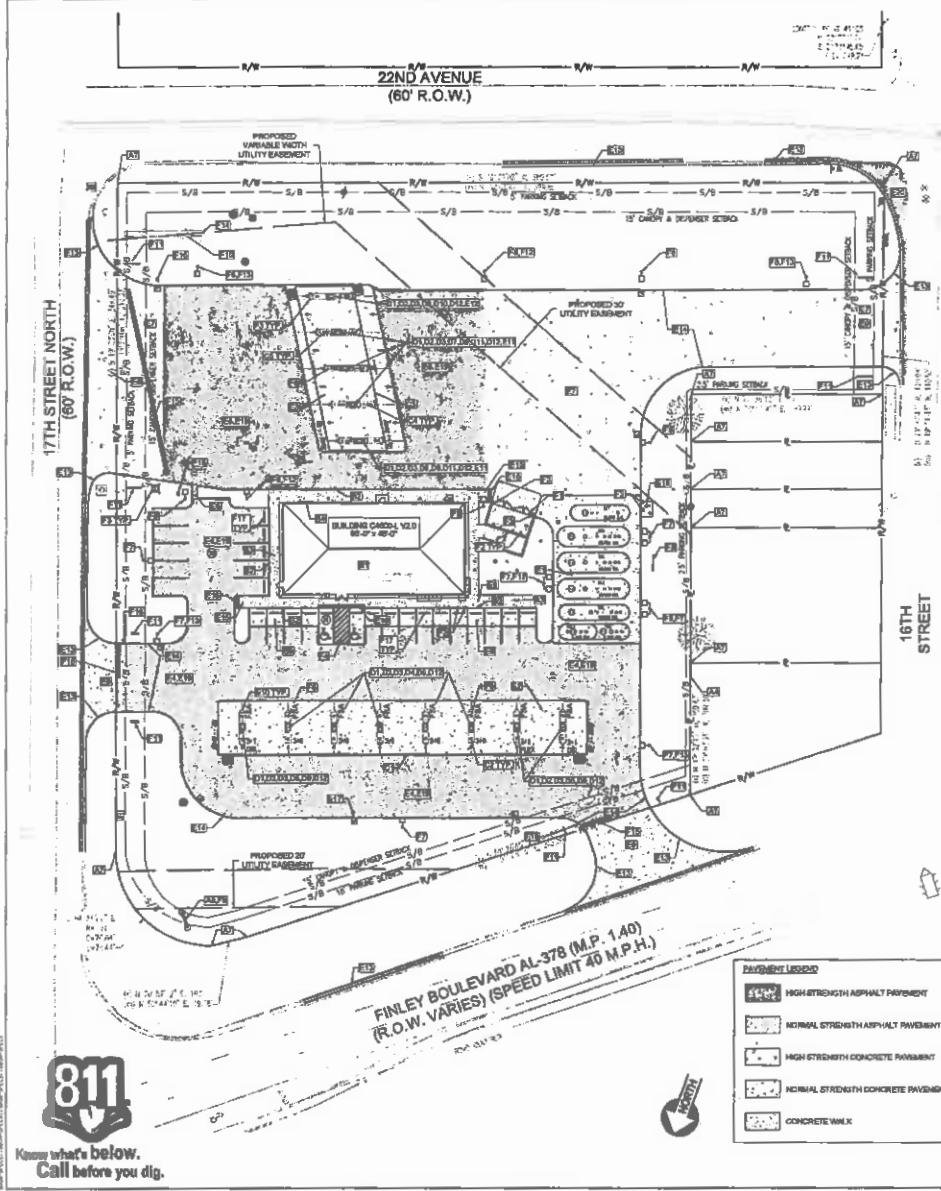
DESTRUCTION PLAN
 NEW BUILD
 1817 FINLEY BLDG.
 JEFFERSON COUNTY
 BIRMINGHAM, AL

DATE: 10/11/2019
 DRAWN BY: 114895
 SCALE: 1"=40'

REVISIONS:
 NO. 1: 10/11/2019
 BY: J. HALL
 DESCRIPTION: 1817 FINLEY BLDG. DEMOLITION

DATE: 10/11/2019
 TIME: 11:48:55
 USER: J. HALL
 PROJECT: 19020686
 SHEET: 1 OF 1
 SCALE: 1"=40'

101129-CD



- GENERAL NOTES:**
- ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
 - REFER TO ORIGINAL OR BETTER CONDITION ALL AREAS RESTORED BY CONSTRUCTION. UPON COMPLETION, POWER SHALL BE RESTORED TO ALL AREAS RESTORED BY CONSTRUCTION.
 - SHOW ALL EXISTING UTILITIES, CONDUIT RUNS, UTILITIES AND ANY RECONSTRUCTIONS MADE TO THE ORIGINAL CONDITIONS ON THE PLAN AND TURN OVER TO OWNER'S REPRESENTATIVE UPON COMPLETION.
 - THE LAYOUT IS PERPENDICULAR TO THE WESTERN PROPERTY LINE (NORTH TO THE TURNING POINT).
 - ON THE DAY OF THE "TURN-OVER" THE CONTRACTOR WILL PROVIDE ONE COPY OF THE COMPLETE MANUALS TO THE OWNER. THE MANUALS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE UPON COMPLETION.
 - CONSTRUCTION (1) TEMPORARY SIGNAGE AND/OR SIGNAGE SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. (2) TEMPORARY SIGNAGE SHALL BE REMOVED AS SOON AS THE WORK IS COMPLETED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASCOAST.
 - REASONABLE EFFORT TO COORDINATE WITH SPECIFICALLY NOTED TO EXIST (1) UTILITIES SHALL BE IN THE CONTRACTOR'S POSSESSION AS SOON AS POSSIBLE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF THE ENTIRE SITE. THE PROPERTY CORNERS SHALL BE MARKED BY OWNER AND PROTECTED AND MAINTAINED BY CONTRACTOR.
- B. BUILDING DETAILS:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL AND PLUMBING AND BE RESPONSIBLE FOR THE FOLLOWING: (1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL AND PLUMBING. (2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL AND PLUMBING. (3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL AND PLUMBING.
- C. CANOPY DETAILS:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL CANOPY STRUCTURES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL CANOPY STRUCTURES.
- D. DISPENSER DETAILS:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL DISPENSER SYSTEMS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL DISPENSER SYSTEMS.
- E. PAVING DETAILS:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL PAVING AREAS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL PAVING AREAS.
- F. YARD AREA DETAILS:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL YARD AREAS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL YARD AREAS.

ITEM	DESCRIPTION	RESPONSIBILITY
1	PREP DISPENSER FOR CONTRACTOR TO PLACE	OWNER
2	PROGRAM VESSEL ROOF AUTOMATIC TANK GAUGE MONITORING SYSTEM	OWNER
3	REVIEW CONTRACTOR PAVING WORK	OWNER
4	INSTALL BIV MTS	OWNER
5	REVIEW CONTRACTOR'S COMPLETED WARE START-UP CALCULATION FORM "WARRANTY"	OWNER
6	COMPLETE FORM "WARRANTY" FOR CONTRACTOR	OWNER
7	FOR INFORMATION WITH SPECIFICATIONS	OWNER
8	OPENING DAY SUPPORT (SPECIFICATIONS)	CONTRACTOR

- ALDOT NOTES**
- STANDARD PERMIT NOTES**
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH PART 8 OF THE 2009 EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - ALL WORK ON CHADTOW ROAD SHALL MEET OR EXCEED THE LATEST ALDOT STANDARDS AND SPECIFICATIONS.
 - RIGHT OF WAY MARKINGS OR SIGNAGE SHALL NOT BE DISTURBED.
 - DURING NON-CONSTRUCTION HOURS NO REPAIRS OR MATERIALS SHALL BE PAVED OR STORED IN CLEAR VIEW OF THE ROAD OR IN ANY MANNER CAUSING TRAFFIC OBSTRUCTION OR HAZARD TO TRAVELERS OR PEDESTRIANS OR VIOLATING ANY OTHER APPLICABLE REGULATIONS.
 - A COPY OF THE APPROVED PERMIT, PLAN, SPEC AND EROSION CONTROL MUST BE ON SITE AT ALL TIMES.
 - ANY WORK BEING PERFORMED MUST BE COMPLETED BY 05:00 P.M. ON THE DAY OF THE PERMIT.
- CONDITION SPECIFIC NOTES**
- ON-GOING DISTURBANCES INCLUDING NEW POLE INSTALLATIONS.
 - ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER.
 - ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 - THE AMOUNT OF AREA TO BE DISTURBED DURING CONSTRUCTION OF THIS PERMIT IS 31 ACRES.
 - UNPROTECTED OR OPEN CUT EXCAVATION.
 - ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 - NO TRUCK OR EXCAVATOR SHALL BE LEFT OPEN OR UNATTENDED ON THE SITE.
 - ALL EXISTING UTILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

PLAN CERTIFICATE NOTE:

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 17 NORTH, RANGE 3 WEST, SITUATED IN THE CITY OF SEASCOAST, JEFFERSON COUNTY, ALABAMA.

ORIGINAL ALTA, TOPOGRAPHY, UTILITIES, ETC. AND ALL OTHER EXISTING CONDITION ITEMS WERE PREPARED BY GARVER USA FOR SPEEDWAY LLC.

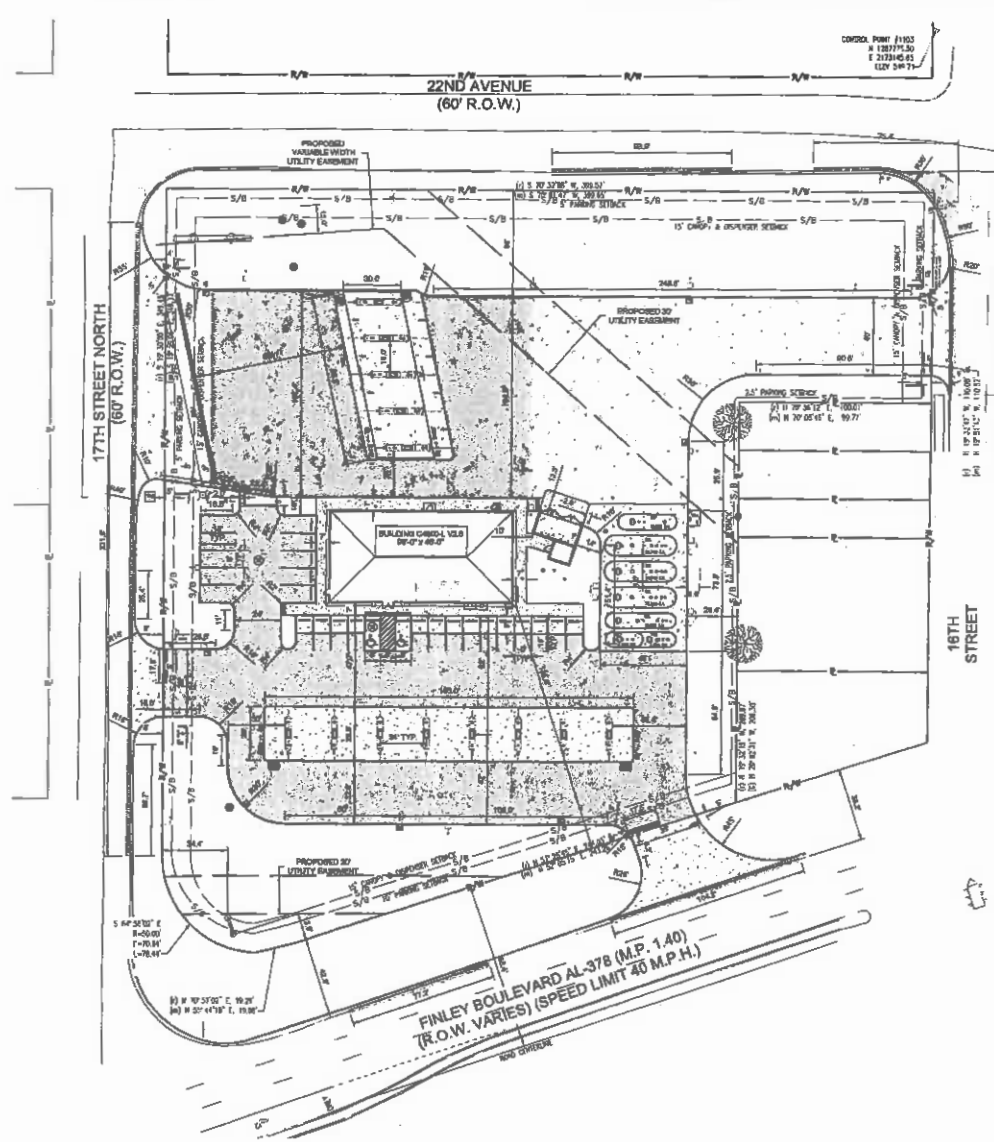
88550e

OWNER: GARVER USA FOR SPEEDWAY LLC
 PROJECT: NEW BUILD
 DATE: 11/14/2023

Speedway

Professional Engineering and Construction Dept.
 101129-01
 SEASCOAST, ALABAMA 36566

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	11/14/23	W. H. HALL	W. H. HALL
2	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
3	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
4	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
5	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
6	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
7	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
8	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
9	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
10	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
11	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
12	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
13	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
14	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
15	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
16	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
17	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
18	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
19	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
20	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
21	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
22	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
23	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
24	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
25	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
26	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
27	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
28	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
29	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
30	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
31	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
32	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
33	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
34	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
35	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
36	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
37	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
38	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
39	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
40	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
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45	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
46	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
47	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
48	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
49	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL
50	REVISED PERMIT	11/14/23	W. H. HALL	W. H. HALL



- JEFFERSON COUNTY MAJOR DEVELOPMENT NOTES**
- GENERAL NOTES:**
 - ALL EXISTING AND REQUIRED COUNTY RIGHT OF WAY AND EASEMENTS ARE TO BE SHOWN ON THE CONSTRUCTION PLANS. STRUCTURES SUCH AS WALLS, DOWNS, FENCES, BUILDINGS, ETC. OR PLANTS SUCH AS TREES OR SHRUBS SHALL NOT BE PLACED IN THE RIGHT OF WAY OR EASEMENTS WITHOUT PRIOR APPROVAL FROM JEFFERSON COUNTY.
 - OTHER THAN SHOWN ON APPROVED PLANS, EXISTING OPERATIONS BY USING CUTTINGS OR PLANS SHALL NOT BE ALLOWED WITHIN JEFFERSON COUNTY RIGHT OF WAY AND EASEMENTS.
 - THE OWNER OR DEVELOPER SHALL PROVIDE THE CONTRACTOR WITH REPLICATED PERMITS FOR CONSTRUCTION IDENTIFICATION SIGNS, (IF REQUIRED) AND LANDMARKS, (IF REQUIRED) TO BE PLACED IN JEFFERSON COUNTY RIGHT OF WAY OR EASEMENTS.
 - STANDARD NOTES:**
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH JEFFERSON COUNTY SPECIFICATIONS.
 - CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTY, ROADS, AND WATERWAYS.
 - CONTRACTOR AND/OR DEVELOPER ARE RESPONSIBLE FOR PROVIDING A SUFFICIENT RATE OF DRAINAGE PREVENTS.
 - CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING A PROPER TRAFFIC CONTROL PLAN FOR PUBLIC SAFETY ADJACENT TO CONSTRUCTION SITE. THE TRAFFIC CONTROL PLAN MUST BE IN ACCORDANCE WITH LATEST ADJUSTED SECTION.
 - ALL UTILITIES WITHIN ROADWAY SHALL BE MARKED WITH STAKES.
 - TRAFFIC CONTROL NOTES:**
 - THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE LATEST EDITION OF PART IV OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE APPROVED TRAFFIC CONTROL PLAN FOR ALL CONSTRUCTION WITHIN ROADWAY AREAS SHOWN AND DESCRIBED IN PART V OF THE MUTCD.
 - PERMANENT ROADWAY SIDES OR TEMPORARY CONSTRUCTION BARRIERS WHICH ARE NOT APPROVED OR INAPPROPRIATE FOR THE CURRENT CONDITION SHALL BE CORRECTED OR REMOVED.
 - THE DIMENSIONS SHOWN OR DESCRIBED FOR LOCATED CONSTRUCTION SIGNS ARE NOMINAL. THE ACTUAL DIMENSIONS SHALL BE ADJUSTED TO BEST FIT LOCAL CONDITIONS AND PROVIDE MAXIMUM VISIBILITY.
 - IF TRAFFIC CONTROL DEVICES ARE NECESSARY FOR PROPER WARNINGS AND TRAFFIC CONTROL AFTER DARK, THEN AS A MINIMUM, TYPE "W" WARNING LIGHTS SHALL BE PLACED ON THE FRONT WARNING SIGN AND CHANGELINE SIGN AND TYPE "R" REFLECTIVE SHEETINGS SHALL BE REQUIRED ON ALL SIGNS.
 - HAZARDOUS CONDITIONS OR OPEN ROADSIDE AREAS SUCH AS EXISTING DITCHES OR EROSION SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR IS ON SITE AND WORKING, AND PROPER TRAFFIC CONTROL MEASURES ARE BEING TAKEN.
 - THE CONTRACTOR SHALL KEEP OPEN ROADSIDE CLEAN AND FREE OF CONSTRUCTION DEBRIS, DIRT, LOOSE GRAVEL, OR OTHER MATERIAL THAT MAY CAUSE HAZARDOUS DRIVING CONDITIONS.
 - TRAFFIC CONTROL DEVICES SHALL MEET THE STANDARD MATERIAL AND INSTALLATION REQUIREMENTS SPECIFIED IN THE LATEST EDITION OF THE LATEST REVISION SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
 - ROADWAYS AND DRIVEWAYS SHALL REMAIN OPEN DURING CONSTRUCTION. CHANNELING DEVICES SHALL BE PLACED AT 10' ON CENTER ALONG DRIVEWAYS TO MAINTAIN CHANNELS TRAFFIC INTO AND OUT OF INTERSECTIONS, TURNS AND DRIVEWAYS WITHIN AREAS WHERE CHANNELING DEVICES ARE REQUIRED. TEMPORARY REGULATORY SIGNS SUCH AS STOP SIGNS AND YIELD SIGNS SHALL BE PLACED AS NECESSARY FOR PROPER TRAFFIC CONTROL IN ACCORDANCE WITH THE MUTCD.

PLAN CERTIFICATE NOTE:
 ALL THAT TRACT OR PARCELS OF LAND LYING AND BEING PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 17 SOUTH, RANGE 6 WEST, SITUATED IN THE CITY OF BIRMINGHAM, JEFFERSON COUNTY, ALABAMA.
 ORIGINAL ALTA, TOPOGRAPHY, UTILITIES, STORM SEWERS, AND ALL OTHER EXISTING CONDITION ITEMS WERE PREPARED BY GARVER USA FOR SPEEDWAY LLC



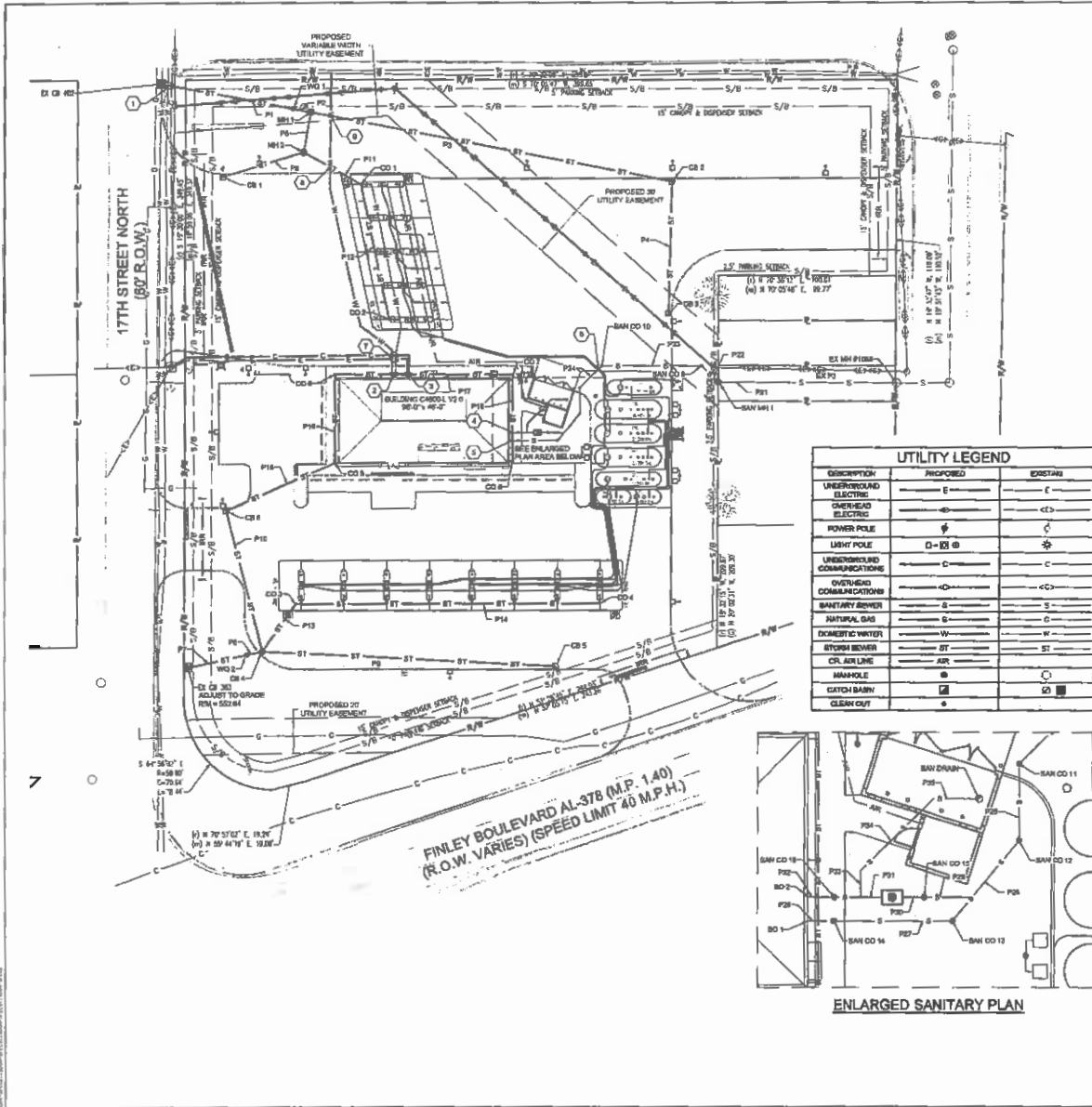
SSOE
 SIDE, Inc.
 10000 Highway 100, Suite 200
 Birmingham, AL 35242
 Phone: 205-991-2200
 Fax: 205-991-2201

Speedway
 Birmingham, AL
 Project # 101129-01

NO.	DATE	DESCRIPTION
1	10/11/19	ISSUED FOR PERMIT
2	10/11/19	ISSUED FOR PERMIT
3	10/11/19	ISSUED FOR PERMIT
4	10/11/19	ISSUED FOR PERMIT
5	10/11/19	ISSUED FOR PERMIT
6	10/11/19	ISSUED FOR PERMIT
7	10/11/19	ISSUED FOR PERMIT
8	10/11/19	ISSUED FOR PERMIT
9	10/11/19	ISSUED FOR PERMIT
10	10/11/19	ISSUED FOR PERMIT

DIMENSION PLAN
 NEW BUILD
 1817 FINLEY BLVD.
 JEFFERSON COUNTY
 BIRMINGHAM, AL

DATE	10/11/19
VERSION	114895
SHEET	1
TOTAL SHEETS	1
SCALE	1" = 30'
DESIGNER	SSOE
CHECKED	B. HALL
DATE	10/11/19
APPROVED	S. ALY
DATE	10/11/19
APPROVED	L. BRADLEY
DATE	10/11/19
PROJECT NO.	101129-CS1



SANITARY SEWER TABLES

STRUCTURE TABLE		
STRUCTURE NAME:	RIM:	DETAILS:
BO1		INV. 0' W 548.10
BO2		INV. 0' W 548.20
EX MH P108	RIM: 541.97	INV. 0' W 541.72
GREASE IN		INV. 0' W 548.15
GREASE OUT		INV. 0' W 547.00
SAN CO 8	RIM: 552.30	INV. 0' W 548.75
SAN CO 9	RIM: 551.11	INV. 0' W 547.31
SAN CO 10	RIM: 551.33	INV. 0' W 547.49
SAN CO 11	RIM: 551.33	INV. 0' W 547.49
SAN CO 12	RIM: 551.85	INV. 0' W 547.83
SAN CO 13	RIM: 552.31	INV. 0' W 547.83
SAN CO 14	RIM: 552.87	INV. 0' W 548.05
SAN CO 15	RIM: 552.85	INV. 0' W 547.89
SAN CO 16	RIM: 552.82	INV. 0' W 548.24
SAN DRAIN	RIM: 551.33	INV. 0' W 548.82
RAV MH 1	RIM: 553.09	INV. 0' W 548.85

STORM SEWER TABLES

STRUCTURE TABLE		
STRUCTURE NAME:	RIM:	DETAILS:
CB 1	RIM: 548.20	INV. 12' 0" W 548.37
CB 2	RIM: 549.79	INV. 12' 0" W 548.93
CB 3	RIM: 550.42	INV. 12' 0" W 549.61
CB 4	RIM: 551.45	INV. 12' 0" W 548.41
CB 5	RIM: 551.85	INV. 12' 0" W 548.45
CB 6	RIM: 552.85	INV. 12' 0" W 549.82
CB 7	RIM: 553.85	INV. 12' 0" W 549.82
CB 8	RIM: 554.85	INV. 12' 0" W 549.82
CB 9	RIM: 555.85	INV. 12' 0" W 549.82
CB 10	RIM: 556.85	INV. 12' 0" W 549.82
CB 11	RIM: 557.85	INV. 12' 0" W 549.82
CB 12	RIM: 558.85	INV. 12' 0" W 549.82
CB 13	RIM: 559.85	INV. 12' 0" W 549.82
CB 14	RIM: 560.85	INV. 12' 0" W 549.82
CB 15	RIM: 561.85	INV. 12' 0" W 549.82
CB 16	RIM: 562.85	INV. 12' 0" W 549.82
CB 17	RIM: 563.85	INV. 12' 0" W 549.82
CB 18	RIM: 564.85	INV. 12' 0" W 549.82
CB 19	RIM: 565.85	INV. 12' 0" W 549.82
CB 20	RIM: 566.85	INV. 12' 0" W 549.82
EX CB 303	RIM: 551.00	INV. 12' 0" W 548.42
EX CB 402	RIM: 547.84	INV. 12' 0" W 548.76
MH 1	RIM: 549.80	INV. 12' 0" W 548.00
MH 2	RIM: 550.58	INV. 12' 0" W 548.18
WC 1	RIM: 549.74	INV. 12' 0" W 548.00
WC 2	RIM: 551.20	INV. 12' 0" W 548.38

PIPE TABLE

NAME	SIZE	LENGTH	SLOPE	MATERIAL
EX P8	18"	87'	0.12%	CLAY
P21	18"	30'	0.12%	DUCTILE IRON
P22	18"	12'	1.00%	PVC
P23	18"	86'	1.00%	PVC
P24	18"	18'	1.00%	PVC
P25	18"	14'	1.00%	PVC
P26	18"	30'	1.00%	PVC
P27	18"	22'	1.00%	PVC
P28	18"	5'	1.00%	PVC
P29	18"	7'	1.00%	PVC
P30	18"	4'	1.00%	PVC
P31	18"	8'	1.00%	PVC
P32	18"	8'	1.00%	PVC
P33	18"	5'	1.00%	PVC
P34	18"	19'	1.00%	PVC
P35	18"	17'	1.00%	PVC

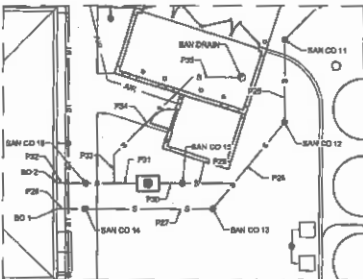
PIPE TABLE

NAME	SIZE	LENGTH	SLOPE	MATERIAL
EX P1	18"			
EX P2	18"			
EX P3	18"			
P1	18"	72'	0.40%	HDPE
P2	18"	12'	0.40%	HDPE
P3	18"	237'	0.40%	RCP
P4	12"	74'	1.25%	RCP
P5	18"	22'	0.40%	HDPE
P6	18"	46'	0.40%	RCP
P7	18"	24'	0.80%	HDPE
P8	18"	9'	0.80%	HDPE
P9	30"	188'	1.25%	HDPE
P10	18"	80'	0.80%	HDPE
P11	8"	37'	0.47%	PVC
P12	8"	18'	1.00%	PVC
P13	8"	32'	1.00%	PVC
P14	8"	171'	5.00%	PVC
P15	8"	67'	1.00%	PVC
P16	8"	57'	1.00%	PVC
P17	8"	102'	1.00%	PVC
P18	8"	42'	1.00%	PVC

PIPE CROSSING TABLE

#	ELEVATIONS	CLEARANCE
1	STORM BOP: 548.72 WATER MAIN TOP: 783.00 FIELD GAS MAIN TOP: 780.00 FIELD	1.57' MIN.
2	STORM BOP: 548.57 WATER SERVICE TOP: 547.81	1.57'
3	STORM BOP: 548.37 COMB TOP: 548.37 ELEC TOP: 548.37	1.17' MIN.
4	STORM BOP: 550.20 SANITARY TOP: 548.71	1.50'
5	STORM BOP: 550.20 SANITARY TOP: 548.85	1.70'
6	SANITARY BOP: 547.87 PRODUCT LINE TOP: 548.47	1.50'
7	COMB TOP: 548.37 ELEC TOP: 548.37 WATER SERVICE TOP: 547.81 CPL WATER LINE TOP: 547.21	1.00'
8	STORM BOP: 548.24 WATER SERVICE TOP: 548.84	1.30'
9	STORM BOP: 548.85 WATER SERVICE TOP: 544.45	1.80'

UTILITY LEGEND		
DESCRIPTION	PROPOSED	EXISTING
UNDERGROUND ELECTRIC	—E—	—E—
OVERHEAD ELECTRIC	—E—	—E—
POWER POLE	⊕	⊕
LIGHT POLE	⊕	⊕
UNDERGROUND COMMUNICATIONS	—C—	—C—
OVERHEAD COMMUNICATIONS	—C—	—C—
SANITARY SEWER	—S—	—S—
NATURAL GAS	—G—	—G—
DIAPHRAGM WATER	—W—	—W—
STORM SEWER	—ST—	—ST—
CFL AIR LINE	—AR—	—AR—
MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
CLEAN OUT	⊙	⊙



PLAN CERTIFICATE NOTE:
 ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING PART OF THE SEVENTH QUARTER OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 17 SOUTH, RANGE 3 WEST, SITTING IN THE CITY OF BRIMMINGHAM, JEFFERSON COUNTY, ALABAMA.
 ORIGINAL, ALTA, TOPOGRAPHY, UTILITIES, STORM SEWER, AND ALL OTHER EXISTING CONDITION ITEMS WERE PREPARED BY GARVER USA FOR SPEEDWAY LLC.

SSOE
 SSOE, Inc.
 1500 20th Avenue
 Birmingham, AL 35202
 Project # 17-14895

Speedway
 Birmingham, AL
 Project # 17-14895

PIPING & UTILITIES PLAN
 NEW BUILD
 1817 FINLEY BOULEVARD
 JEFFERSON COUNTY
 BRIMMINGHAM, AL

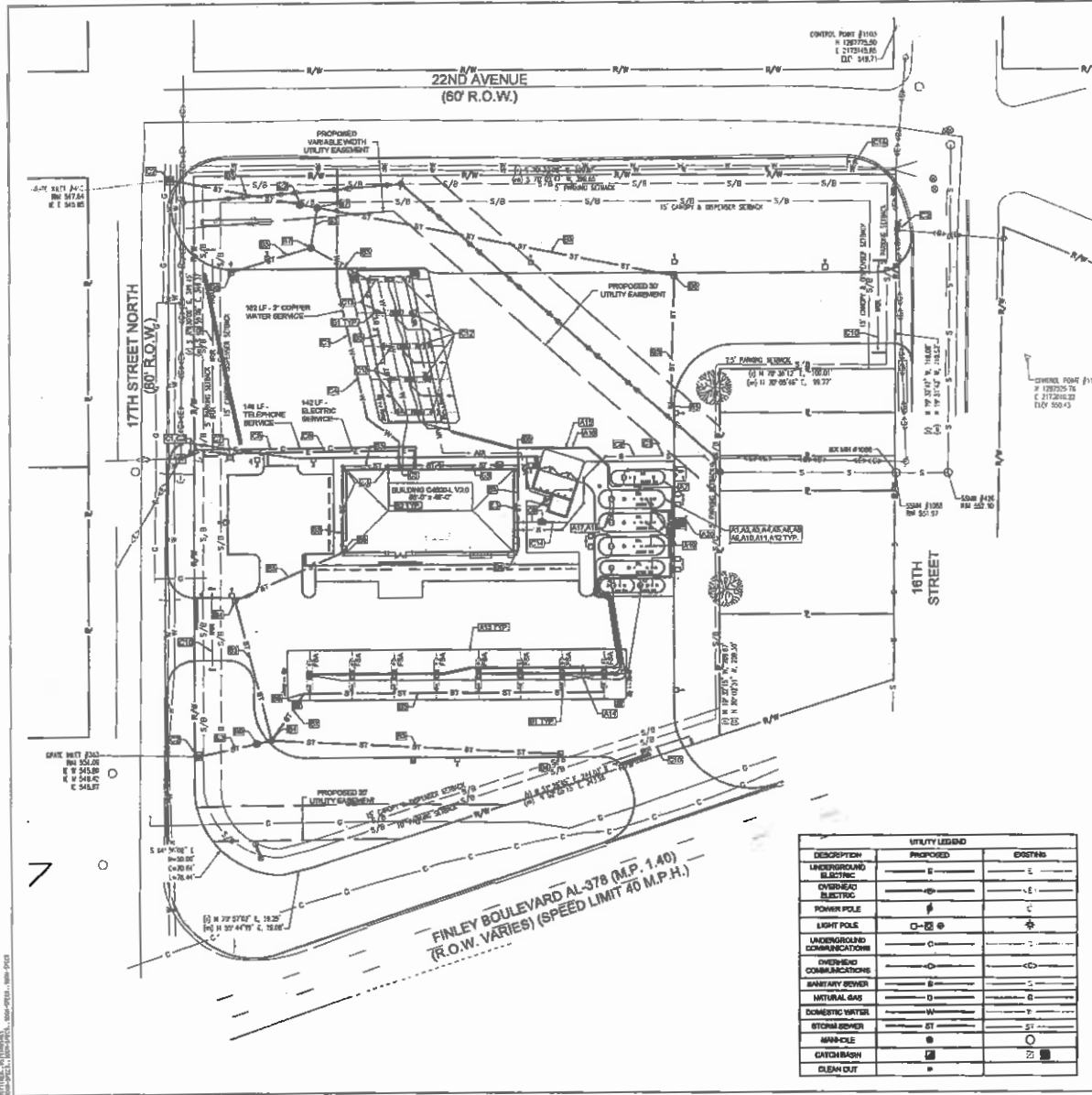
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 SHEET NO: 2/21

DATE: 08/20/2024
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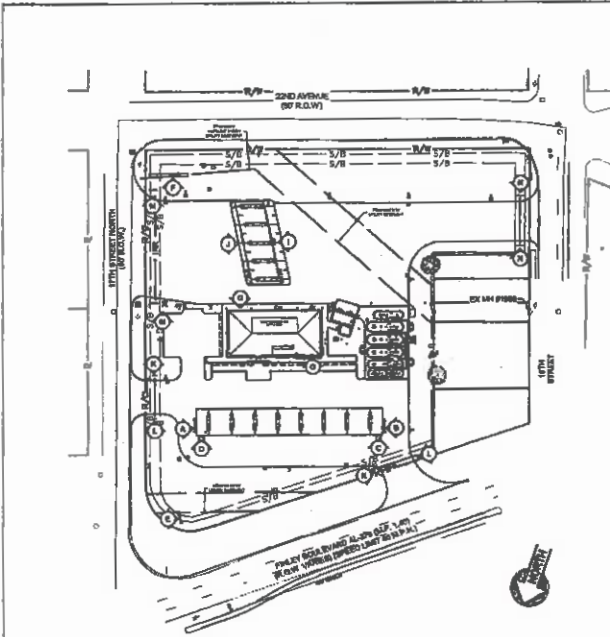
- ### A. TANKS AND PRODUCT PIPING DETAILS:
- CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL AS INDICATED ON STD-PO SERIES DRAWINGS.
 - ALL INSTALLATIONS AND MODIFICATIONS TO THE UNDERGROUND STORAGE TANK SYSTEM SHALL COMPLY WITH PER-900-04, PER-900-04 SUPPLEMENT, AND FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
 - TANKS SHALL BE ANCHORED PER STANDARD DRAWING STD-PO-3.
 - BE AS ALTERNATE 1: SHEET PILE TANK HOLES AND FLOAT HOISTWAYS INTO PLACE.
 - BE AS ALTERNATE 2: SUPPLY AND INSTALL FILTER FABRIC LINES IN NEW TANK HOLES AND PRODUCT PIPING TRENCHES.
 - DALLAST TANKS TO BE FULL WITH CLEAN WATER. AFTER THE TANKS HAVE BEEN PROPERLY COVERED BY OVERHEADS AND BEFORE PRODUCT IS DELIVERED, THE CONTRACTOR SHALL RESERVE ALL WATER. COORDINATE WITH OWNER'S REPRESENTATIVE FOR DELIVERY OF PRODUCT. ANY WATER REMAINING IN TANKS AFTER PRODUCT DELIVERY SHALL BE REMOVED AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - BALLAST DUGSIL EXHAUST FLUID (DEF) TANKS TO BE FULL WITH THE DEF PRODUCT. COORDINATE WITH OWNER'S REPRESENTATIVE FOR DELIVERY OF PRODUCT.
 - INSTALL REMOTE FILL, AUTOMATIC TANK GAUGE, AND REMOTE VAPOR RECOVERY MANHOLES AND RELATED EQUIPMENT PER PIPING PLAN AND STD-PO SERIES DRAWINGS.
 - PRIME AND PARTIAL FILL VAPOR RECOVERY, AND OBSERVATION WELL MANHOLES COVERS AND FLAPS PER COLOR CODE IN SPECIFICATIONS. ANY MANHOLES OR STREET ACCESS NOT COLOR SPECIFIED SHALL BE PRIME AND PAINTED DARK GREY BASED PER SPECIFICATIONS.
 - INSTALL TANK CONDUIT FROM TANK TO OVERHEAD ELECTRICAL EQUIPMENT INSIDE BUILDING PER STD-PO SERIES DRAWINGS AND MANUFACTURER'S INSTRUCTIONS.
 - INSTALL WEEVER ROOT LINE LEAK DETECTION AND JTS SYSTEM, RELATED MANHOLES, CONDUITS, AND JUNCTION BOXES PER DRAWING STD-PO AND MANUFACTURER'S INSTRUCTIONS. INSTALL TANK INTERSTITIAL DRAINAGE FURNISHED BY OWNER.
 - INSTALL TANK SLUMP SENSORS FURNISHED BY OWNER.
 - PRODUCT PIPING LINE UP AND TRENCH SEE "P" SCHEDULE OF DIMENSIONS SHALL BE AS SHOWN. PIPING AND CONDUIT LOCATION AND SPACING UNDER DISPENSERS SHALL BE PER STD-PO SERIES DRAWINGS.
 - INSTALL 2" DIRECT-BURY FLEXIBLE PRODUCT PIPER (DIPLOLE) SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND SERIES STD-PO DRAWINGS. THE PIPE, APPURTENANCES (INCLUDING BULKHEAD ENTRY FITTINGS), AND MISCELLANEOUS MATERIALS NECESSARY TO ASSEMBLE SYSTEM SHALL BE OWNER SUPPLIED.
 - INSTALL 1" DIRECT-BURY FLEXIBLE PRODUCT PIPER (DIPLOLE) SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND SERIES STD-PO DRAWINGS. THE PIPE, APPURTENANCES (INCLUDING BULKHEAD ENTRY FITTINGS), AND MISCELLANEOUS MATERIALS NECESSARY TO ASSEMBLE SYSTEM SHALL BE OWNER SUPPLIED.
 - INSTALL 1" FLEXIBLE LITER FLEXIBLE PRODUCT PIPING WITH 1" ACCESS/CONTAINMENT PIPE FOR DEF PIPING PER MANUFACTURER'S RECOMMENDATIONS AND STANDARD SERIES DRAWINGS. THE PIPE, APPURTENANCES (INCLUDING BULKHEAD ENTRY FITTINGS), AND MISCELLANEOUS MATERIALS NECESSARY TO ASSEMBLE SYSTEM SHALL BE OWNER SUPPLIED.
 - INSTALL SLOPE LINES PER DETAIL ON THE STD-PO SERIES DRAWINGS.
 - INSTALL MANHOLE PER DETAIL ON THE STD-PO SERIES DRAWINGS.
 - INSTALL A SECONDARY FILL PIPE OR 200 GALLON TANKS PER DETAILS ON THE STD-PO SERIES DRAWINGS.
 - INSTALL AND INSULATE FRESH AIR FRESH AIR VENT LINES AND RELATED EQUIPMENT. CONTRACTOR TO LOCATE VENT STACKS A MINIMUM OF 10 FEET AWAY FROM ELECTRICAL EQUIPMENT AND EXISTING BUILDING STRUCTURES.
- ### B. STORM PIPING:
- A CLEANOUT SHALL BE INCLUDED AT EVERY CANOPY COLUMN WITH A DOWNSPOUT THAT IS CONNECTED TO THE STORM DRAINAGE SYSTEM AS SHOWN PER DRAWING STD-PO-1.
 - BUILDING DOWNSPOUTS SHALL BE CONNECTED TO STORM DRAINAGE SYSTEM AS INDICATED.
 - SUPPLY AND INSTALL STORM DRAINAGE PIPING AS SHOWN PER STANDARD DRAWING SERIES STD-PO.
 - SUPPLY AND INSTALL 12" STANDARD DUTY CATCH BASIN WITH SLOPE DRAIN, INCLUDING CONCRETE COLLAR IF IN ASPHALT PAVEMENT PER DRAWING STD-PO-1.
 - SUPPLY AND INSTALL (1) HEAVY DUTY BRASS/STAINLESS STEEL CATCH BASIN WITH SLOPE DRAIN, INCLUDING CONCRETE COLLAR IF IN ASPHALT PAVEMENT PER DRAWING STD-PO-1.
 - SUPPLY AND INSTALL (1) STANDARD DUTY MANHOLE RISE, INCLUDING CONCRETE COLLAR IF IN ASPHALT PAVEMENT, PER DRAWING STD-PO-1.
 - SUPPLY AND INSTALL CLEAN OUTS AT LOCATIONS SHOWN PER DRAWING STD-PO-1 AND STD-PO-2.
 - SUPPLY AND INSTALL 24" STORM WATER QUALITY STRUCTURE PER MANUFACTURER'S SPECIFICATIONS.
- ### C. UTILITIES:
- VERIFY ALL SERVICE UTILITY ROUTINGS WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. VERIFY ALL UTILITY CLEARANCES ARE MAINTAINED PER LOCAL CODE.
 - ALL WORK WHEN RIGHT-OF-WAY SHALL CONFORM TO GOVERNING STATE AND/OR LOCAL SPECIFICATIONS.
 - IF CONTRACTOR TO BOND UTILITIES WITHIN RIGHT-OF-WAY OF BUILDING AT LOCATION SHOWN, COORDINATE ALL BUILDING UTILITY CONNECTIONS WITH BUILDING DRAWINGS.
 - CONTRACTOR SHALL FURNISH AND INSTALL 3" COPPER WATER LINE FROM METERS TO EXISTING NEW 3" MAIN. CONTRACTOR SHALL FURNISH AND INSTALL 1" FIBER OPTIC CONDUIT FROM METERS TO THE BUILDING SERVICE FOR THE BUILDING DRAWINGS. CONTRACTOR SHALL COORDINATE INSTALLATION WITH WATER COMPANY.
 - CONTRACTOR SHALL FURNISH AND INSTALL (1) 2" PVC CONDUIT WITH FULL STRING FROM PHONE SERVICE CONNECTION TO BUILDING NEW UNDERGROUND CONDUIT THREE PHASE ELECTRIC SERVICE SHALL BE INSTALLED PER BUILDING DRAWINGS. CONTRACTOR, LOCAL POWER COMPANY SHALL INSPECT AND CONDUCT TESTING PRIOR TO INSTALLATION. CONTRACTOR SHALL SUPPLY AND INSTALL CONDUIT FOR PRIMARY POWER AS SPECIFIED BY LOCAL POWER COMPANY FROM POWER POLE TO TRANSFORMER. PRIMARY POWER CONDUITS SUPPLIED AND INSTALLED BY LOCAL POWER COMPANY.
 - INSTALL CONCRETE TRANSFORMER PAD AT LOCATION INDICATED PER REQUIREMENTS OF LOCAL POWER COMPANY, INCLUDING ANY REQUIRED BOLTER.
 - INSTALL 6" PVC SANITARY SEWER LINE FROM BUILDING TO APPROPRIATE SERVICE LATERAL PER FIELD CONDITIONS. MINIMUM SLOPE SHALL BE 1/8". INSTALL CLEAN-OUTS EVERY 100' ALONG SEWER LINE.
 - INSTALL EXTERIOR 1/2" BALL GROUND TRAP PER DRAWING STD-PO-1 EXTERIOR LOCAL REGULATIONS.
 - INSTALL 3" PVC BLEEDER FOR IRRIGATION LINES UNDER APPROACHES.
 - BE AS ALTERNATE: CONTRACTOR SHALL DESIGN, SUPPLY, AND INSTALL IRRIGATION SYSTEM FOR ALL BEEDED AND PLANTED AREAS AS SHOWN ON LANDSCAPE PLAN. DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. INSTALL (1) ADDITIONAL 3/4" DIAMETER WATER LINE WITH METERS FOR IRRIGATION SYSTEM.
 - PROTECT AND INSTALL AIR HOSE REEL PER MANUFACTURER'S RECOMMENDATION AND DETAILS ON STD-PO DRAWINGS (REQUIRED ON TRUCK ISLANDS). AIR SERVICE TO TRUCK LINES WILL BE SUPPLIED BY A 3/4" TYPE "C" COPPER AIR HOSE LINE FROM AN COMPRESSOR IN STORAGE BUILDING.
 - FURNISH AND INSTALL FRESH WASH-YARD HYDRANT PER DETAIL ON DRAWING STD-PO-1 (REQUIRED ON TRUCK ISLANDS). RUN TYPE "K" COPPER WATER LINE PER DETAIL ON STD-PO FROM BUILDING TO HYDRANT.
 - CONTRACTOR SHALL INSTALL BREAKER SAMPLING PORT PER JEFFERSON COUNTY SPECIFICATIONS.
 - INDICATED FIRE HYDRANT. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION TO WATER MAIN.

811
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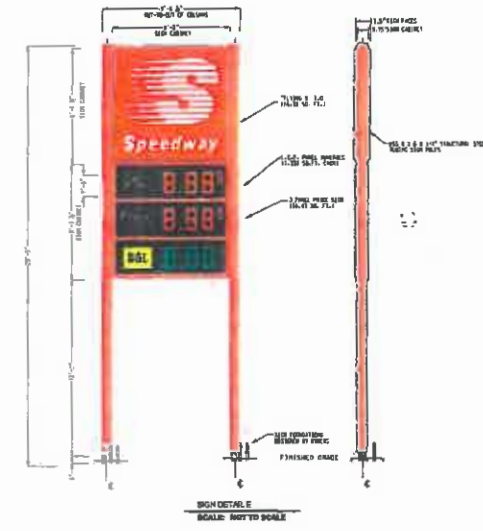
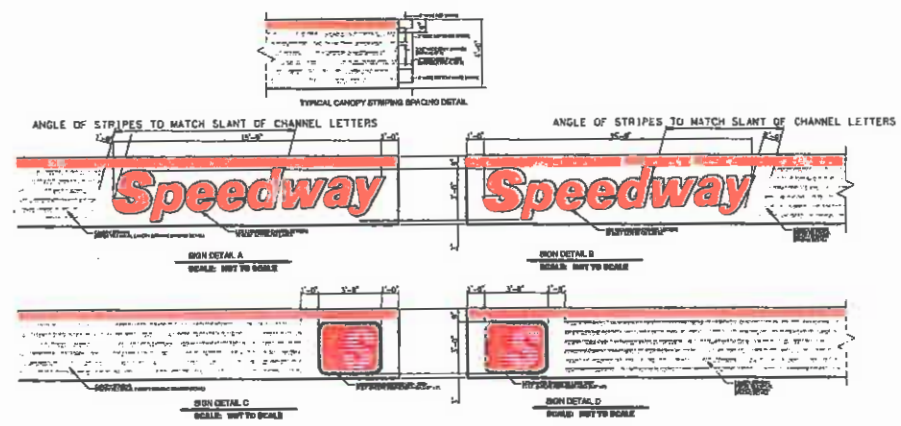
Speedway
SPEEDWAY LLC
1515 FINLEY BLVD.
JEFFERSON COUNTY
BIRMINGHAM, AL 35202
PH: 205.974.1100
WWW.SPEEDWAYLLC.COM

KEYED UTILITIES PLAN
NEW BUILD
1515 FINLEY BLVD.
JEFFERSON COUNTY
BIRMINGHAM, AL

DATE: 10/11/2023
DRAWN BY: J. B. HILL
CHECKED BY: J. B. HILL
SCALE: 1" = 30'
PROJECT NO: 101129
SHEET NO: 114895
101129-CU1



PROPOSED SIGNAGE					
REF. LET.	LOCATION	MESSAGE	ILLUMINATED	DIMENSION	AREA (SF)
F	SOUTH-EAST CORNER	SPORTING HIGH RISE SIGN	ILLUMINATED	10' x 40'	402.00
E	NORTH PROPERTY CORNER	SPEEDWAY GOAL POST	ILLUMINATED	18.25' x 6.54'	120.00
		TOTAL			522.00
CANOPY/WALL/BUS SIGNS					
D	AUTO CANOPY - NORTHEAST	SPEEDWAY "RUNNING 8" LOGO	ILLUMINATED	3.07' x 3.07'	11.00
C	AUTO CANOPY - NORTHWEST	SPEEDWAY "RUNNING 8" LOGO	ILLUMINATED	3.07' x 3.07'	11.00
A	AUTO CANOPY - EAST	SPEEDWAY CHANNEL LETTERS	ILLUMINATED	16.75' x 3.07'	77.25
B	AUTO CANOPY - WEST	SPEEDWAY CHANNEL LETTERS	ILLUMINATED	15.25' x 3.07'	47.25
		TOTAL			116.50
TRUCK CANOPY SIGNS					
I	TRUCK CANOPY - WEST	SPEEDWAY "RUNNING 8" LOGO	ILLUMINATED	3.07' x 3.07'	11.00
J	TRUCK CANOPY - EAST	SPEEDWAY "RUNNING 8" LOGO	ILLUMINATED	3.07' x 3.07'	11.00
K	TRUCK CANOPY - WEST	SPEEDWAY CHANNEL LETTERS	ILLUMINATED	15.25' x 3.07'	47.25
L	TRUCK CANOPY - EAST	SPEEDWAY CHANNEL LETTERS	ILLUMINATED	14.75' x 3.07'	45.25
M	TRUCK CANOPY - WEST	DEF AT ALL LANES	ILLUMINATED	12.50' x 1.00'	12.50
N	TRUCK CANOPY - WEST	CLEARANCE 18' 6"	ILLUMINATED	9.42' x 6"	5.65
O	TRUCK CANOPY - EAST	EXIT TWO SIDE ONLY	ILLUMINATED	7.25' x 6"	4.35
		TOTAL			146.90
DIRECTIONAL SIGNS					
K	AUTO DRIVE - EAST	AUTO EXIT	ILLUMINATED	48.5" x 24"	8.08
L	AUTO DRIVE - NORTHWEST	AUTO EXIT	ILLUMINATED	48.5" x 24"	8.08
M	AUTO DRIVE - EAST	AUTO ENTRANCE	ILLUMINATED	48.5" x 24"	8.08
N	AUTO DRIVE - NORTHWEST	AUTO ENTRANCE	ILLUMINATED	48.5" x 24"	8.08
O	CPL DRIVE - EAST	TRUCK EXIT	ILLUMINATED	87" x 47.5"	32.00
P	CPL DRIVE - EAST	TRUCK EXIT	ILLUMINATED	87" x 47.5"	32.00
Q	CPL DRIVE - WEST	TRUCK ENTRANCE	ILLUMINATED	87" x 47.5"	32.00
R	CPL DRIVE - WEST	TRUCK ENTRANCE	ILLUMINATED	87" x 47.5"	32.00
		TOTAL			148.24
BUILDING SIGNS					
G	BUILDING FACE - NORTH	READERBOARD	ILLUMINATED	87" x 61.5"	41.43
H	BUILDING FACE - SOUTH	READERBOARD	ILLUMINATED	87" x 61.5"	41.43
		TOTAL			82.86
		SITE TOTAL			1556.28



888666
 SSGE, LLC
 101129
 114895
 PROJECT # 114895

Speedway
 COMMUNICATIONS, INC.
 101129
 114895
 PROJECT # 114895

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	10/11/2011	SSGE
2	ISSUED FOR PERMIT	10/11/2011	SSGE
3	ISSUED FOR PERMIT	10/11/2011	SSGE
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100	ISSUED FOR PERMIT	10/11/2011	SSGE

1 OF 2
 NEW BUILD
 101129
 114895
 JEFFERSON COUNTY
 BRUNSWICK, GA

811
 Know what's below.
 Call before you dig.
 101129-SS

ZBA2019-00093 Site Visit



Subject property



South of the subject property

ZBA2019-00093 Site Visit



Business west of the subject property



Finely Blvd



Competitor Sign east of the subject property

ZBA2019-00093 Site Visit



100FT High Rise Pole Sign

Meeting – February 13, 2020
Location - City Council Chambers, Third Floor, City Hall
Time - 2:00PM
Pre-Meeting - 1:00PM

Department of Planning Engineering & Permits Conference Room, Fifth Floor

Neighborhood: Forest Park Staff Planner Moton/Abram ZBA2020-00008

Request: Variance to allow the expansion of a legal non-conforming structure 514.55 SF with a current side yard setback at 6 FT and 1 FT to remain pursuant to Title 1, Chapter 9, Article VII, section 3.A.3.
Applicant: Christopher Woods
Owner: Christopher Woods
Site Address: 3805 5th Ave
Zip Code: 35222
Description: The applicant is adding an addition to the rear of the property while using the existing side yard setbacks of 6FT and 1FT instead of the minimum required one side 5FT and both sides totaling 14FT.
Property Zoned: R-4A Medium Density Residential District
Parcel Information: Parcel #: 012300293020008000, SW of Section 29, Township 17 S, Range 2 W

Variance:

The applicant is requesting a variance to allow an expansion into the rear yard of a legal non conforming structure while maintaining the existing side yard setbacks of 6FT on the west and 1ft on the east side of the property.

Neighborhood Meeting:

The Forest Park Neighborhood Association met and approved this request 30-0.

Public Notices:

Public notices were mailed on January 29, 2020.

Applicant's Justification:

The applicant provided documentation of the six (6) variance standard request questions. The information has been submitted as part of the ZBA Packet.

1.Physical Characteristics of the Property: The existing structure was built in 1962, prior to the existing City of Birmingham current side setback limits. The survey included herewith shows the existing side, rear and front setback limits at the time the home was constructed. We agree that the exiting narrow side setbacks are different from the setback requirement guidelines. However, by approving this existing property condition it will not have a negative impact.

2.Unique Characteristics: The specific conditions unique to this property are the existing side setback limits do not meet the City of Birmingham current side setback limits. As previously stated, the reason for this is the existing structure was built in 1962, prior to the City of Birmingham adopting the current side setback limits. With the proposed addition our goal is to restore the property for enjoyment while also preserving this historic property. The project is located within the Avondale Historic District and the Neighborhood Association has approved the project conditions.

3.Hardship Not Self-Imposed: The alleged difficulty or hardship was not created by the previous actions of any person having an interest in the property. The existing structure was built in 1962 so the narrow side setback limits were in-place long before we purchased the property. That said, we explored through the design process every possible option to achieve the square footage for the proposed addition of the property.

4. Financial Gain Not Only Basis: Financial gain is not the sole basis for requesting the variance. We explored the possibility of adding a second floor to avoid this variance request; however, the existing foundation structure would not support a second floor. We sought the advice of a structural engineer as regarding a new foundation plan. The structural engineer, however, was concerned that disturbing the existing foundation could possibly cause additional settlement.

5.No Injury to Neighboring Property: The granting of the variance will not be injurious to other property or improvements in the area nor will it impair an adequate supply of light and air to the adjacent properties, or substantially diminish or impair property values in the area. Our proposed addition will extend in the rear of the property where all standard and current rear and front setback limits will fully comply with the City of Birmingham current requirements. Our proposed addition will increase the value of the property, which in turn should have a positive effect on the property values in the area.

6.No Harm to Public Welfare: The granting of the variance will not be detrimental to the public welfare, nor have a negative impact to public streets nor impair the intent and purpose of this Ordinance.

History:

The parcel is located at 3805 5th Ave S and it resides within the R-4A Medium Density Residential District which is located within the Avondale Park Historic District. The property was built in 1962 prior to the current zoning ordinance side yard setbacks; therefore, it is considered a legal nonconforming structure. The proposed addition in the rear of the property will include a dining area, bedroom and back cover porch.

Staff Analysis:

Staff conducted a site visit of the property on January 30, 2020 and observed the side yard setback of the property and of the other properties in the same block face all appear to have similar side yard setbacks. Due to the property being located within the historic district, development and/or expansion of an existing development, including any exterior changes must be reviewed and approved by the City's Design Review Committee.

The applicant does meet requirements of the Variance review standards physical characteristics of the property, unique characteristics, hardship not self-imposed, financial gain not only basis, no injury to neighboring property and no harm to public welfare.

Staff Recommendation

Staff believes the applicant has provided sufficient evidence to support the variance request. Therefore, staff believes the request has merit for approval and as such, should be **GRANTED** subject to the following conditions:

1. Review by the appropriate zoning inspector to insure compliance with the Board's decision.
2. Review and approved by the City's Design Review Committee.

ONE STOP PERMITTING

CITY OF BIRMINGHAM
DEPARTMENT OF PLANNING, ENGINEERING & PERMITS
710 20th Street, North
ROOM 210, CITY HALL
BIRMINGHAM, ALABAMA 35203

Randall L. Woodfin, Mayor

Edwin Revell, Director

ZBA2020-00008

<p style="text-align: center; border: 1px solid black; margin: 0;">APPLICATION TO THE ZONING BOARD OF ADJUSTMENT</p>	<p>Date <u>1-22-2020</u> Case No. _____ Master No. _____ Project No. _____</p>
<p>P.I.D. No.: _____ Address Verified By: _____ Modified Address: <u>3805 5th AVE SO 35222</u></p>	

Please print or type legibly and fill in all that apply

Site Address: 3805 5th Ave South Birmingham 35222 Zip Code: 35222
 Location: Bham, AL
 Project Name: WOODS HOME
 Lot(s) _____ Block(s) _____ Survey _____
 Lot(s) _____ Block(s) _____ Survey _____
 Lot(s) _____ Block(s) _____ Survey _____
 Metes and Bounds Attached

<p>OWNER</p> <p>NAME: <u>Christopher Woods</u> ADDRESS: <u>3805 5th Ave South</u> CITY/STATE/ZIP: <u>Bham, AL 35222</u> PHONE: <u>(205) 965-7124</u> CELLULAR: <u>(205) 965-7124</u> FAX: <u>(205) 252-4758</u> PAGER: () EMAIL: <u>CHRIS@C.WOODS.CONTRACTING.CO</u></p>	<p>APPLICANT*</p> <p>NAME: <u>SAME</u> COMPANY NAME: <u>SAME</u> ADDRESS: _____ CITY/STATE/ZIP: _____ PHONE: () _____ CELLULAR: () _____ FAX: () _____ PAGER: () _____ EMAIL: _____ <small>*Applicant is required to be authorized by owner to undertake work</small></p>
---	---

TYPE OF REQUEST

Under the following provisions of the Zoning Ordinance of the City of Birmingham, Alabama, the Zoning Board of Adjustment is hereby requested to:

Hear an Appeal from a decision of the Director of the Department of Planning, Engineering and Permits Department (Article VIII, Sec. 5.3)

Modification – Modify the strict application of the provisions of the Zoning Ordinance (Article VIII, Sec. 5.3)

Variance – Authorize a variance from the terms of the Zoning Ordinance (Article VIII, Sec. 5.2)

<input type="checkbox"/> Accessory Structure	<input type="checkbox"/> Adult Establishments	<input type="checkbox"/> Child/Adult Care	<input type="checkbox"/> Communal Living Facility	<input type="checkbox"/> Fences
<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Height	<input type="checkbox"/> Manufactured Housing	<input checked="" type="checkbox"/> Non-Confirming Uses	<input type="checkbox"/> Parking
<input type="checkbox"/> Public	<input type="checkbox"/> Signs	<input type="checkbox"/> Yards	<input type="checkbox"/> Other _____	

Special Exception – Cause a permit to be issued for a special exception (Article VIII, Sec. 5.4 or Article V, Sec. 1)

<input type="checkbox"/> Accessory Structure	<input type="checkbox"/> Adult Establishments	<input type="checkbox"/> Child/Adult Care	<input type="checkbox"/> Communal Living Facility	<input type="checkbox"/> Fences
<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Height	<input type="checkbox"/> Manufactured Housing	<input checked="" type="checkbox"/> Non-Confirming Uses	<input type="checkbox"/> Parking

Description of Work or Request: SMALL ROOM ADDITION

If you have a hardship/practical difficulty, please explain: EXISTING PROPERTY LINES ESTABLISHED WHEN ORIGINAL STRUCTURE WAS BUILT

FOR STAFF USE

SECTION II TEXT CHANGE

Amendment to: Title: _____ Article: _____ Title: _____

See Attachment
 In words substantially as follows: _____

PLANS REQUIRED	PERMIT FEE WAIVED	REFERENCE CASES:
<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	_____

COMMENTS _____

CERTIFICATION

I fully understand that, upon the filing of this application and the payment of the filing fee to defray the expenses of investigation and processing this application, there shall be no refunds made to me and that the payment of said filing fee shall in no way entitle me to the change, amendment, supplement, modification or repeal as herein applied for. If an amendment to text of Zoning Ordinance is proposed, please complete applicant data. I hereby certify that I have read this application and that all information contained herein is true. If any portion of this information, either intentionally or unintentionally, is false or is a misrepresentation of the material facts, the permit or process granted will be void. I further certify that if I am not the owner, I have proper authorization from the owner to act as representative on his/her behalf and that I may be required to provide written documentation of such authorization to the City of Birmingham.

Signature (Owner) Christopher Woods Date JANUARY 22, 2020
 Signature (Owner) _____ Date _____

Hearing Date: _____ Hearing Time: _____ Location: **Room 300, City Hall**

Filing Fees:	Single Family Residential Zone District	\$100.00
	Multi-Family Residential and Commercial Zone District	\$500.00
	Appeals	\$300.00

Case: ZBA2020-00008

ZBA Meeting Date: February 13, 2020

Site: 3805 5th Avenue South

Applicant: Christopher Woods 205-965-7124

VARIANCE STANDARDS OF REVIEW

1. **Physical Characteristics of the Property:** The existing structure was built in 1962, prior to the existing City of Birmingham current side setback limits. The survey included herewith shows the existing side, rear and front setback limits at the time the home was constructed. We agree that the exiting narrow side setbacks are different from the setback requirement guidelines. However, by approving this existing property condition it will not have a negative impact.
2. **Unique Characteristics:** The specific conditions unique to this property are the existing side setback limits do not meet the City of Birmingham current side setback limits. As previously stated, the reason for this is the existing structure was built in 1962, prior to the City of Birmingham adopting the current side setback limits. With the proposed addition our goal is to restore the property for enjoyment while also preserving this historic property. The project is located within the Avondale Historic District and the Neighborhood Association has approved the project conditions.
3. **Hardship Not Self-Imposed:** The alleged difficulty or hardship was not created by the previous actions of any person having an interest in the property. The existing structure was built in 1962 so the narrow side setback limits were in-place long before we purchased the property. That said, we explored through the design process every possible option to achieve the square footage for the proposed addition of the property.
4. **Financial Gain Not Only Basis:** Financial gain is not the sole basis for requesting the variance. We explored the possibility of adding a second floor to avoid this variance request; however, the existing foundation structure would not support a second floor. We sought the advise of a structural engineer as regarding a new foundation plan. The structural engineer, however, was concerned that disturbing the existing foundation could possibly cause additional settlement.
5. **No Injury to Neighboring Property:** The granting of the variance will not be injurious to other property or improvements in the area nor will it impair an adequate supply of light and air to the adjacent properties, or substantially diminish or impair property values in the area. Our proposed addition will extend in the rear of the property where all standard and current rear and front setback limits will fully comply with the City of Birmingham current requirements. Our proposed addition will increase the value of the property, which in turn should have a positive affect on the property values in the area.
6. **No Harm to Public Welfare:** The granting of the variance will not be detrimental to the public welfare, nor have a negative impact to public streets nor impair the intent and purpose of this Ordinance.



Legend

- Centerline Labels
- Zoning Outline
- Railroad
- Alleys
- Local Roads
- Arterials
- County Highways
- State Highways
- US Highways
- Interstates
- Limited Access
- Ramp
- Buildings
- Hydrology Lines
- Hydrology Areas
- Parcels
- City Parks
- Airport
- City Limits (solid)

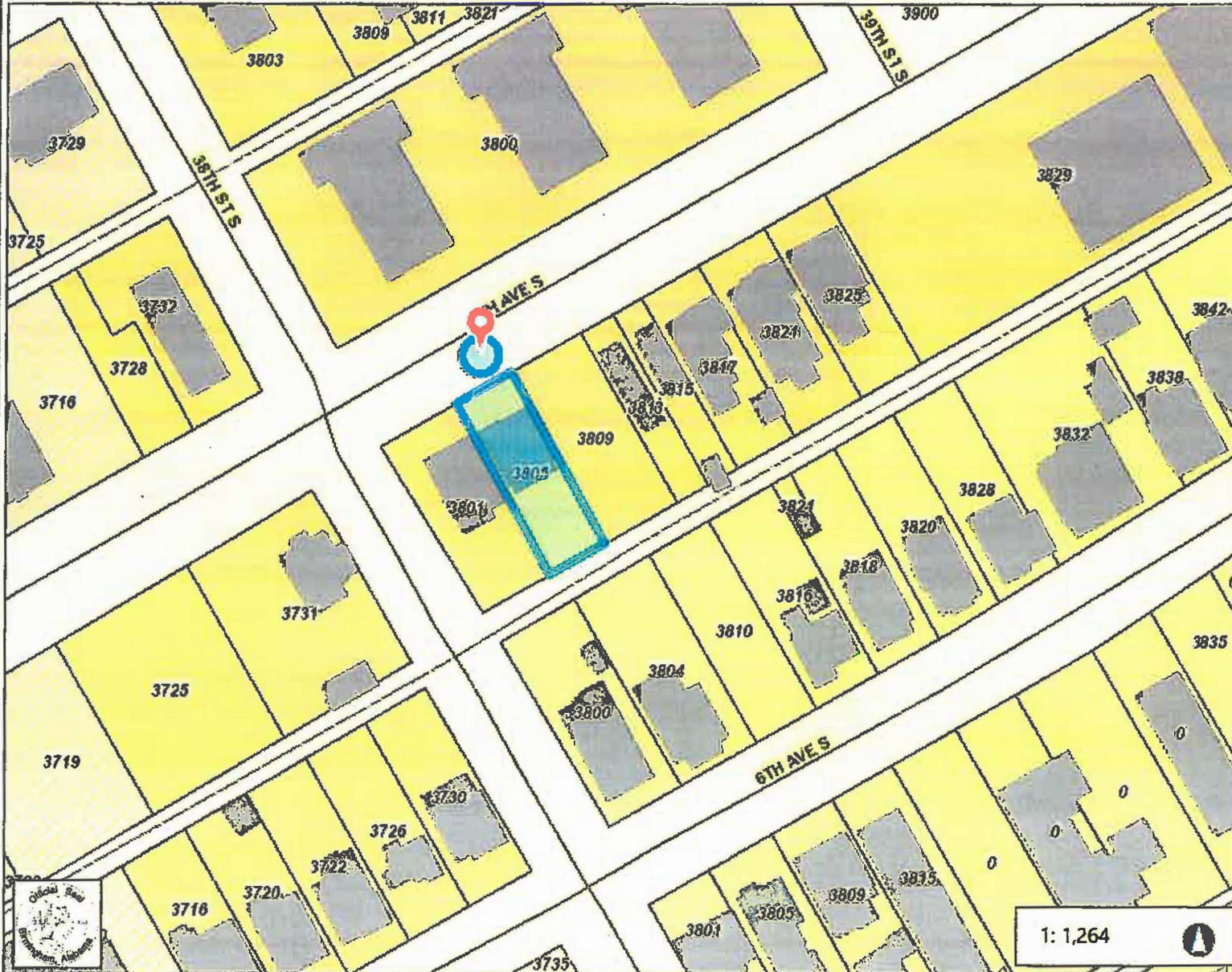
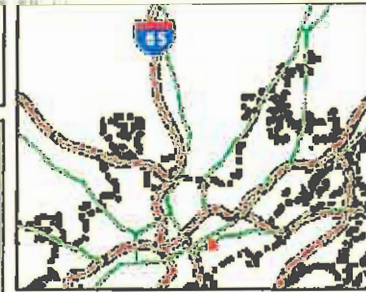


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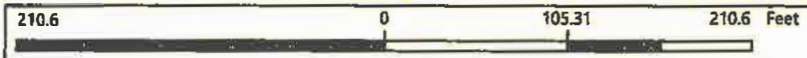


181.9 0 90.95 181.9 Feet

Notes



- Legend**
- Centerline Labels
 - Railroad
 - Alleys
 - Local Roads
 - Arterials
 - County Highways
 - State Highways
 - US Highways
 - Interstates
 - Limited Access
 - Ramp
 - Buildings
 - Hydrology Lines
 - Hydrology Areas
 - Parcels
 - City Parks
 - Airport
 - Adopted LandUse Plan
 - Residential-Low
 - Residential-Medium
 - Residential-High
 - Neighborhood Commercial
 - General Commercial
 - MXU-Low
 - MXU-Medium
 - MXU-High



1: 1,264

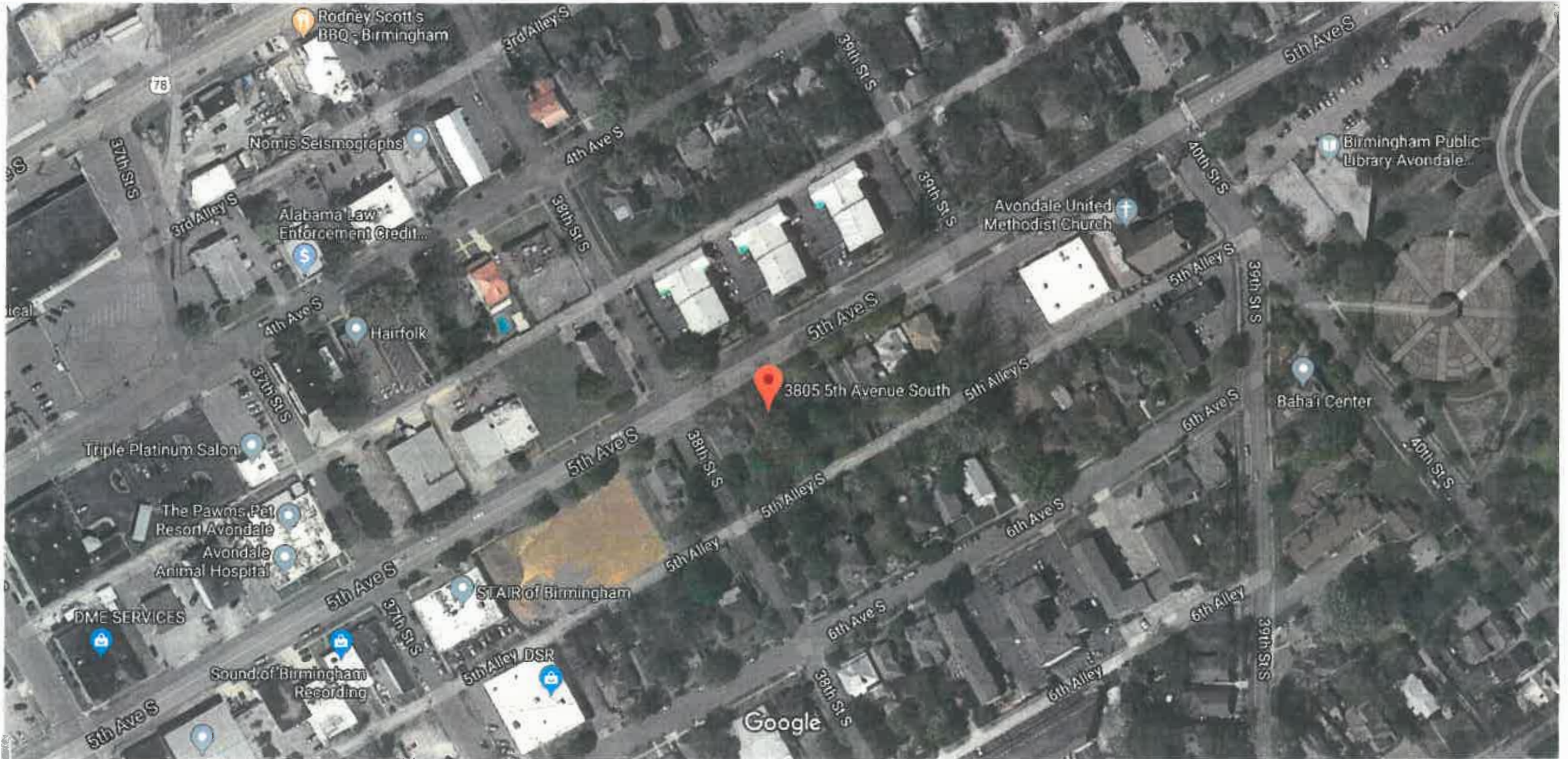
The City of Birmingham makes no warranty, expressed or implied, as to the accuracy of the information represented herein. This map is a user generated static output from an internet mapping site and is for general reference only.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes



3805 5th Ave S

ZBA2020-00008



Imagery ©2020 Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2020 100 ft

PARCEL ID: 012300293020008000

SOURCE: TAX ASSESSOR RECORDS **TAX YEAR:** 2018

DATE: Wednesday, January 29, 2020 3:45:17 PM

OWNER: MCENTEE RONALD JOHN

ADDRESS: 3805 5TH AVE S

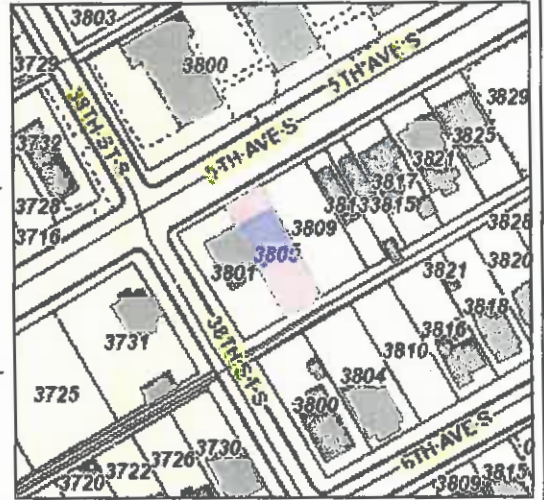
CITY/STATE: BIRMINGHAM AL

ZIP+4: 35222--2503

SITE ADDR: 3805 5TH AVE S

CITY/STATE: BHAM, AL

ZIP: 35222



LAND: \$44,100.00

BLDG: \$30,000.00

OTHER: \$0.00

AREA: 6,305.76

ACRES: 0.14

SUBDIVISION INFORMATION:

NAME AVONDALE

BLOCK: 26

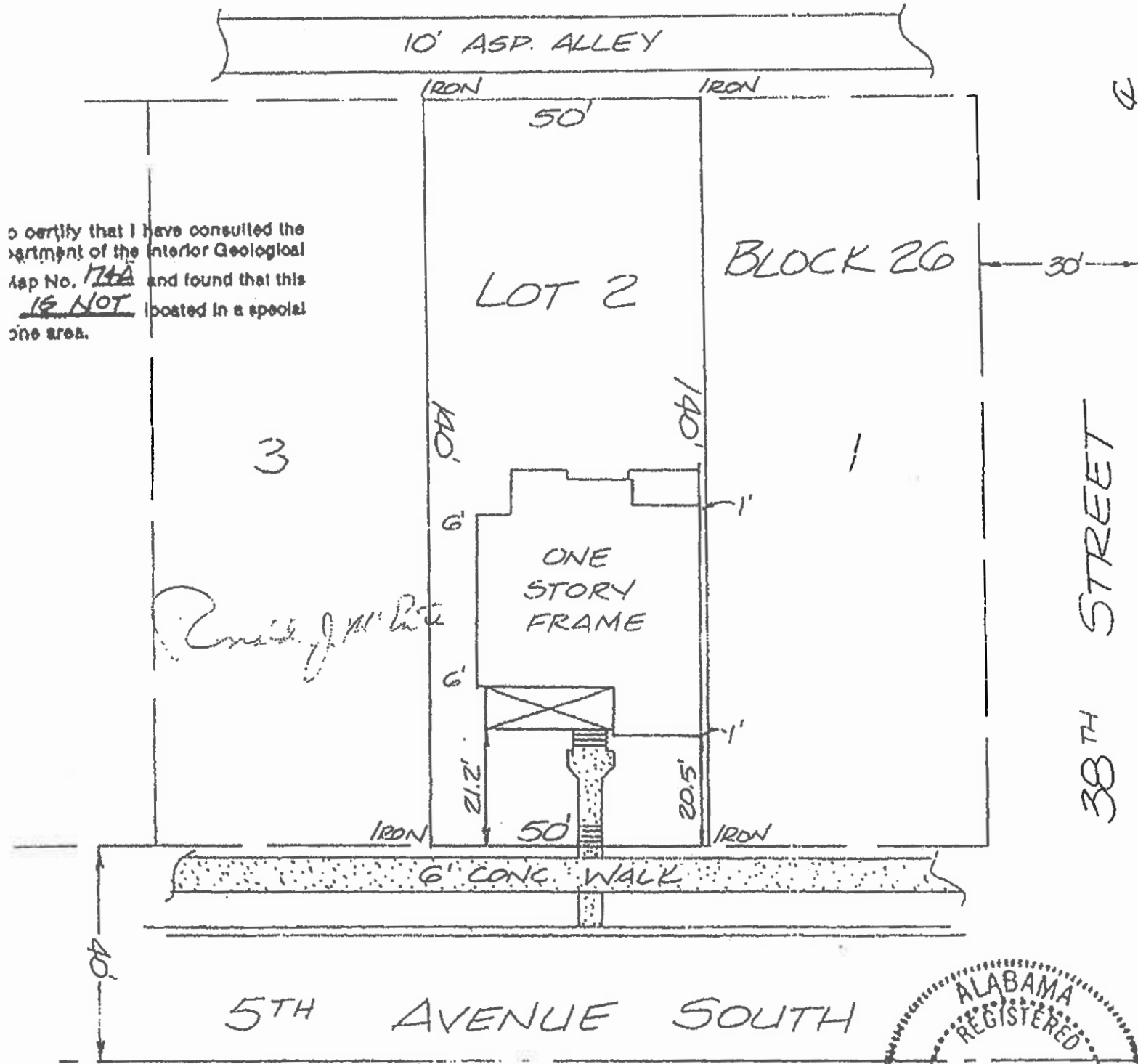
LOT: 2

Section: 32-17-2W; 29-17-2W
Land Slide Zones: Not in Land Slide Zones
Historic Districts: Avondale Park
Commercial Revitalization District: Not in Commercial Revitalization District
Fire District: Not in Fire District
Flood Zones: Not in Flood Zones
Tax Increment Financing District: Not in Tax Increment Financing District
Neighborhoods: Forest Park (1401)
Communities: RED MOUNTAIN (14)
Council Districts: District - 5 (Councilor: Darrell O'Quinn)
Zoning Outline: R4A
Demolition Quadrants: DEM Quadrant - 3
Impaired Watersheds: Impaired Watershed - Upper Village Creek
Strategic Opportunity Area: Not in Strategic Opportunity Area
RISE Focus Area: In RISE Focus Area
Tax Delinquent Property: Not in Tax Delinquent Property
EPA Superfund: Not in EPA Superfund
Opportunity Zones: In Opportunity Zones
Judicial Boundaries: JEFFERSON

Parcel mapping and description information is obtained from the Jefferson County Tax Assessor's Office. This site does not provide real-time information and may contain errors. All data should be verified with the official source. The City of Birmingham makes no warranty as to the accuracy of the data and assumes no responsibility for any errors. Data from the Tax Assessor's Office may not be available for all parcels.

way meets or exceeds
B. for the practice of
urveying in the State of
A, except as shown.

REYNOLDS & RAWSON, I.P.C.
Surveyors - Engineers



I certify that I have consulted the
Department of the Interior Geological
Map No. 174A and found that this
IS NOT located in a special
zone area.



STATE OF ALABAMA
JEFFERSON COUNTY

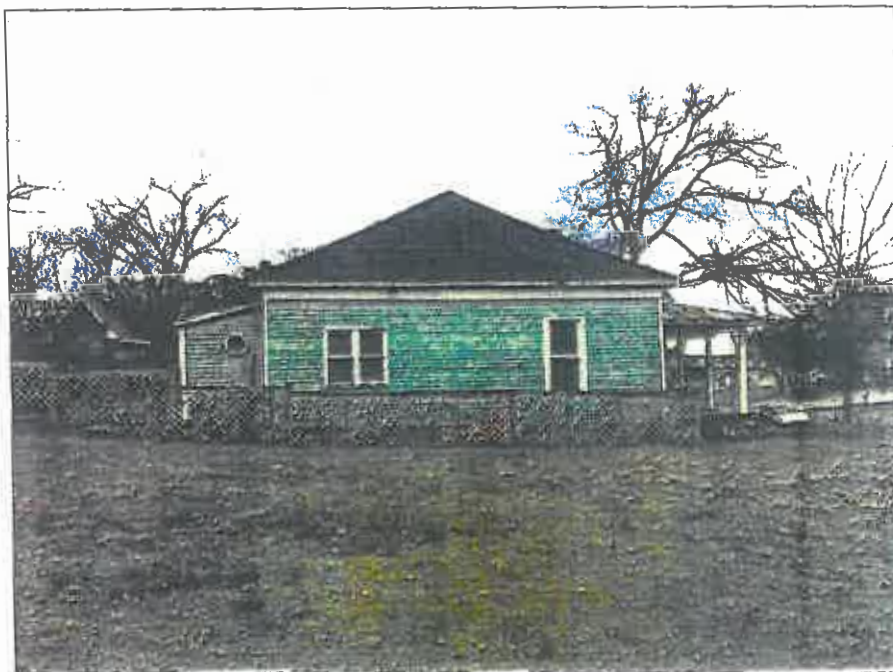
I, Melvin R. Reynolds, a Registered Surveyor, do hereby certify that this
is true and correct plat or map of Lot 2, Block 26 of MAP OF AVONDA
as recorded in Map Book 1, Page 221 in the
Office of the Judge of Probate in JEFFERSON County, Alabama. The buildings on said
premises are as shown above. There are no visible encroachments of buildings, right
of way, easements or joint driveways over or across said lands except as shown; th
ere are no visible encroachments by electric or telephone wires (excluding wires which
serve the premises only) or structures or supports therefor, including poles, and
and guy wires on or over said premises except as shown. According to my survey thi
s the 20TH day of MAY, 1993.

Melvin R. Reynolds
Reg. No. 2087

Purchaser: MCKENTEE
Address: 3805-5TH AVE. SOUTH



FRONT VIEW



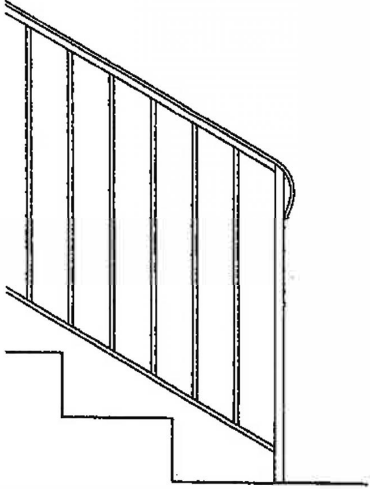
EAST VIEW



REAR VIEW

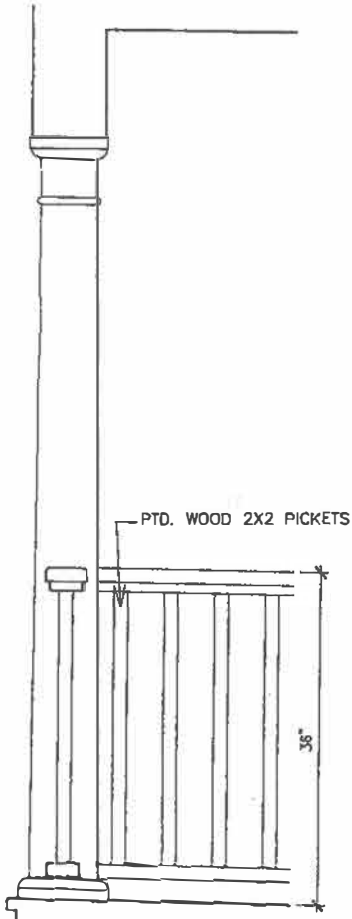
ISSUE DATE 1/7/20	PROJECT WOODS RESIDENCE <small>3805 5TH AVENUE SO. BIRMINGHAM, AL</small>	ALTERNATE A5
REVISIONS PERMIT	JOHN FORNEY ARCHITECT <small>PO BOX 130082 BIRMINGHAM, AL 35213 205 865-7588</small>	

A L L E Y



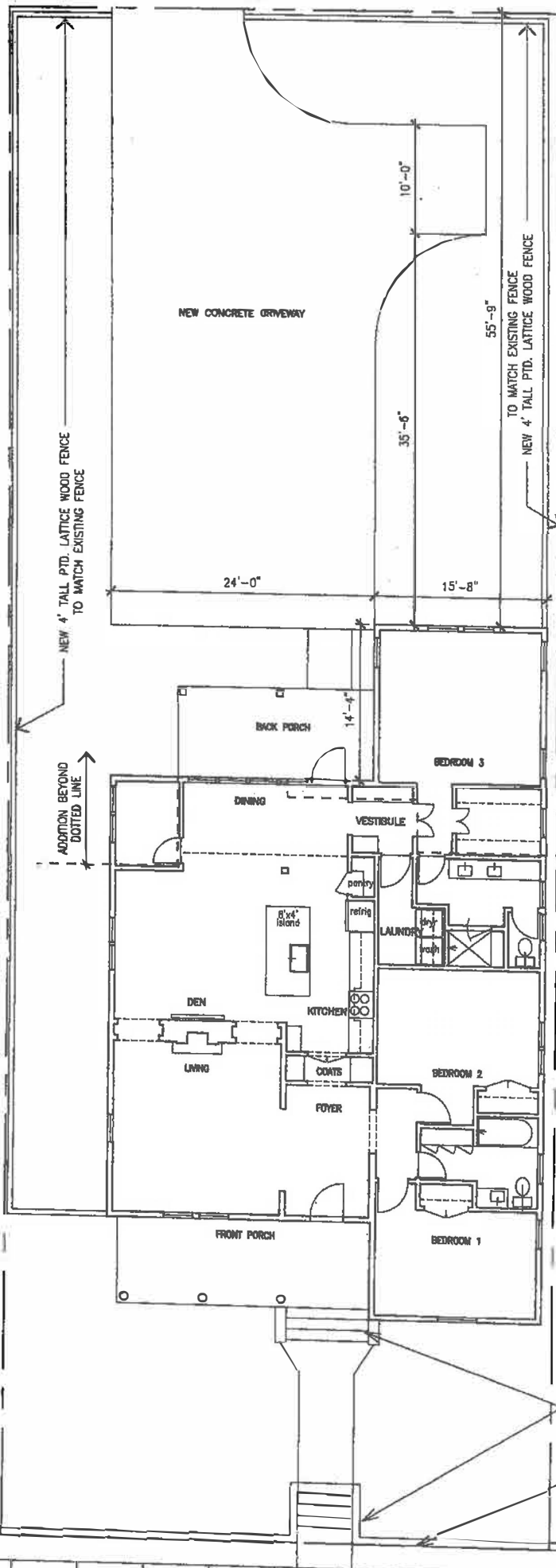
PROPOSED STAIR RAIL

SCALE: 3/4"=1'-0"



PROPOSED PORCH RAIL

SCALE: 3/4"=1'-0"

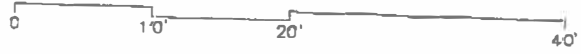


NEW PAINTED STEEL HANDRAIL EACH SIDE OF STAIRS
EXISTING RETAINING WALL TO REMAIN--PAINTED STUCCO FINISH



PROPOSED SITE PLAN

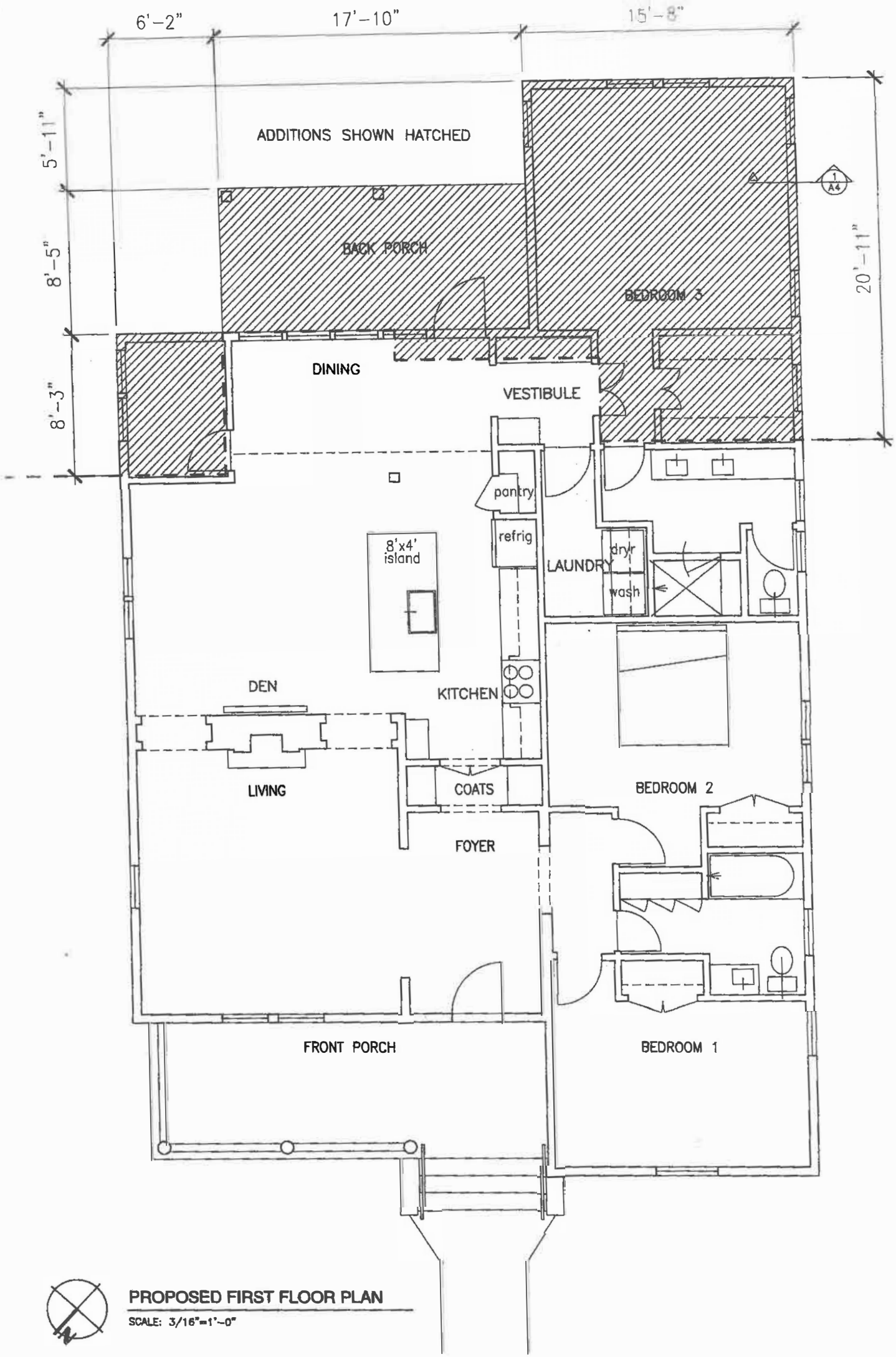
SCALE: 3/32"=1'-0"



ISSUE DATE
1 / 7 / 20
REVISIONS
PERMIT

PROJECT
WOODS RESIDENCE
3805 6TH AVENUE SO. BIRMINGHAM, AL
JOHN FORNEY ARCHITECT
PO BOX 130082 BIRMINGHAM, AL 38213
205 885-7588

ALTERNATE
S1



PROPOSED FIRST FLOOR PLAN
 SCALE: 3/16"=1'-0"



ISSUE DATE 1/7/20	PROJECT WOODS RESIDENCE 3805 6TH AVENUE SO. BIRMINGHAM, AL	ALTERNATE A2
REVISIONS PERMIT	JOHN FORNEY ARCHITECT PO BOX 130082 BIRMINGHAM, AL 35213 205 985-7886	



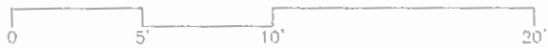
SOUTH ELEVATION SHOWING ADDITION

SCALE: 3/16"=1'-0"



NORTH ELEVATION

SCALE: 3/16"=1'-0"

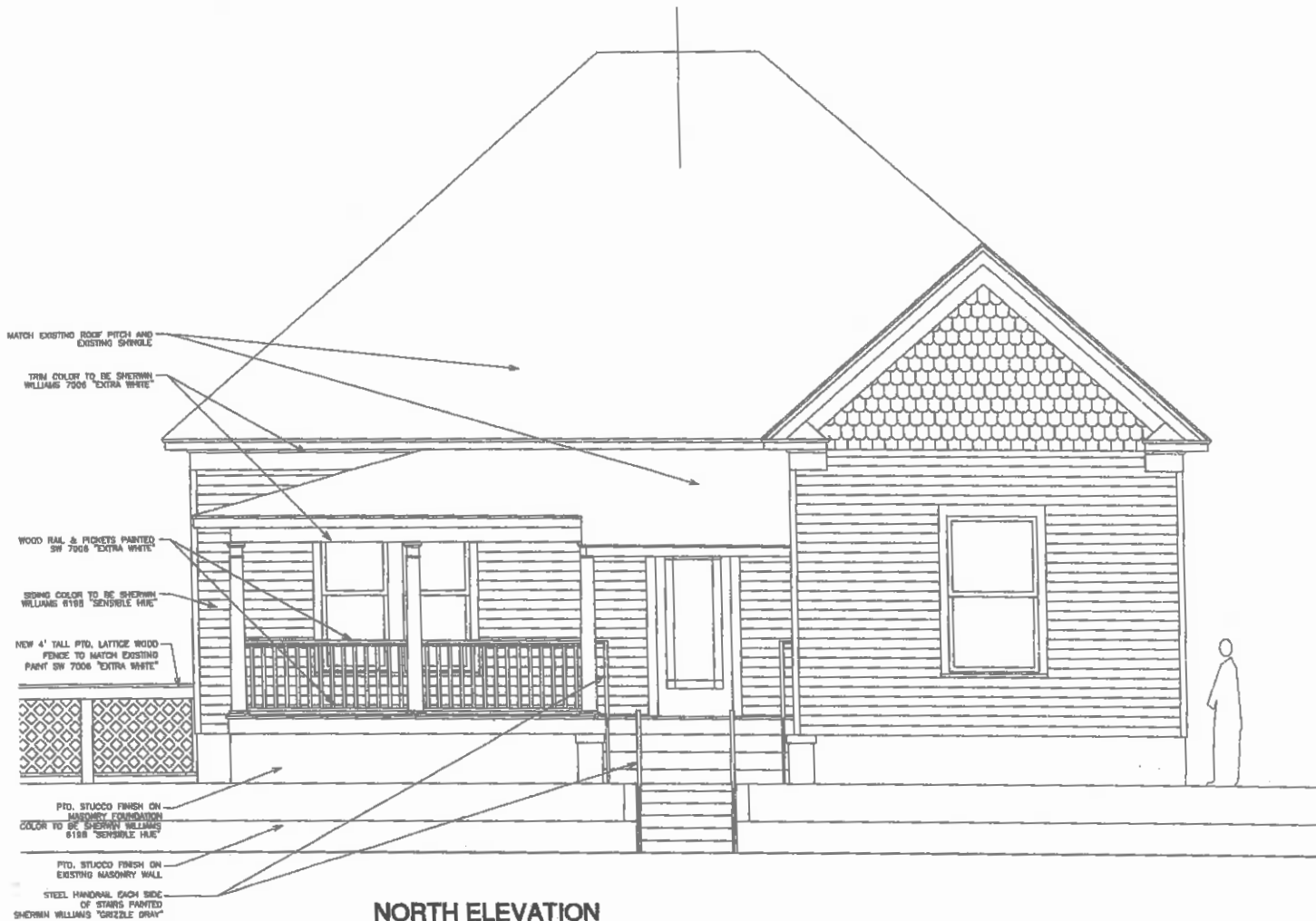


ISSUE DATE 1/7/20	PROJECT WOODS RESIDENCE 3805 5TH AVENUE SO. BIRMINGHAM, AL	ALTERNATE A3
REVISIONS PERMIT	JOHN FORNEY ARCHITECT PO BOX 130062 BIRMINGHAM, AL 38213 205 585-7586	



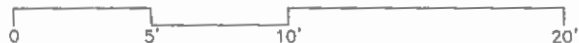
SOUTH ELEVATION SHOWING ADDITION

SCALE: 3/16"=1'-0"

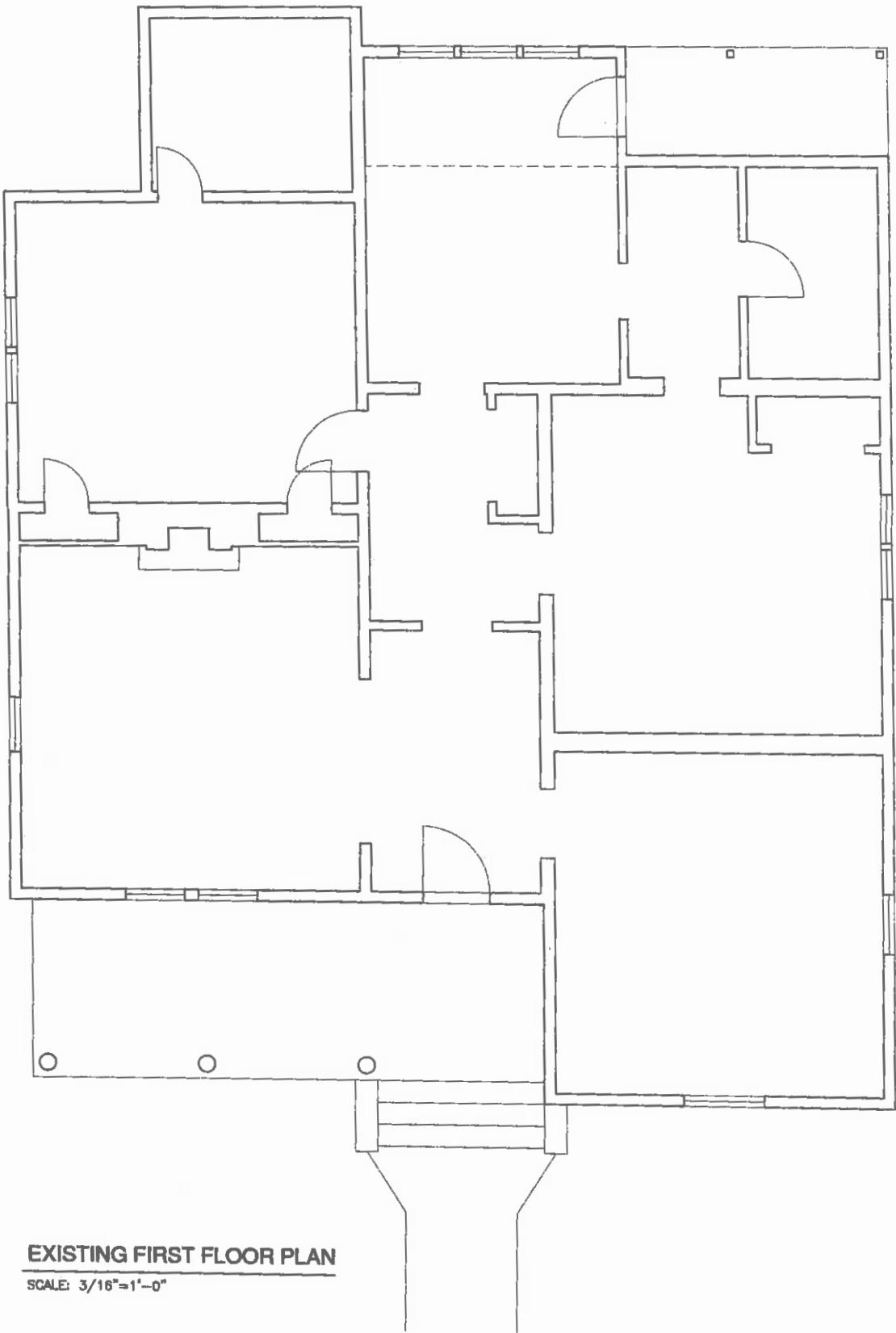


NORTH ELEVATION

SCALE: 3/16"=1'-0"

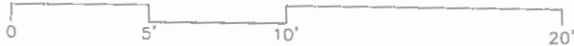


ISSUE DATE 1/7/20	PROJECT WOODS RESIDENCE 3805 5TH AVENUE SO. BIRMINGHAM, AL	ALTERNATE A3
REVISIONS PERMIT	JOHN FORNEY ARCHITECT PO BOX 130082, BIRMINGHAM, AL 35213 205 885-7888	



EXISTING FIRST FLOOR PLAN

SCALE: 3/16"=1'-0"



ISSUE DATE 1/7/20	PROJECT WOODS RESIDENCE 3805 5TH AVENUE SO. BIRMINGHAM, AL	ALTERNATE A1
REVISIONS PERMIT	JOHN FORNEY ARCHITECT PO BOX 130082 BIRMINGHAM, AL 35213 205 585-7888	

ZBA2020-00008 Site Visit



Front view



Rear view

ZBA2020-00008 Site Visit



West side yard view



East side yard view

Meeting – February 13, 2020
Location - City Council Chambers, Third Floor, City Hall
Time - 2:00PM
Pre-Meeting - 1:00PM
Department of Planning Engineering & Permits Conference Room, Fifth Floor

Neighborhood: Acipco-Finley Staff Planner Moton/Abram ZBA2020-00009

Request: Variance to allow a black vinyl coated chain link fence on the required front yard. pursuant to Title 1, Chapter 4, Article 5, Section 5, Subsection 3.A.1.
Applicant: Tony Stephens
Owner: American Cast Iron Pipe CO
Site Address: 3230 16th ST N 35207
Zip Code: 35217
Description: The applicant is requesting to replace an existing 6-foot-height chain link fence and barbed wire to new 6-foot-height chain linked fence along 16th Street and include brick monument sign for facility.

Property Zoned: C-1 Neighborhood Commercial District
Parcel Information: Parcel #: 012200221008001000, NE of Section 22, Township 17 S, Range 3 W

Variance:

The applicant is requesting a variance to replace an existing 6-foot-height chain link fence with barbed wire to a new 6-foot height fence (without barbed wire) chain link fence and include a monument sign for the facility along 16th Street.

Neighborhood Meeting:

The Acipco-Finley Neighborhood Association meeting on February 5, 2020 was cancelled due to inclement weather.

Public Notices:

Public notices were mailed on January 29, 2020.

Applicant's Justification:

The applicant provided documentation of the six (6) variance standard request questions. The information has been submitted as part of the ZBA Packet.

1. Physical Characteristics of the Property. The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owner of such property upon the strict application of any regulation enacted by the ordinance codified in this Ordinance.
2. Unique Characteristics. The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area, that the granting of the application is necessary for the preservation and enjoyment of a property right, and not merely to serve as a convenience to the applicant.
3. Hardship Not Self-Imposed. The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property.
4. Financial Gain Not Only Basis. Financial gain is not the sole basis for granting the variance. No Injury to Neighboring Property.
5. The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

6. No Harm to Public Welfare. The granting of the variance will not be detrimental to the public welfare, increase the congestion in public streets, or increase the danger of fire, or imperil the public safety, or in any other respect impair the health, safety, comfort, morals, or general welfare of the inhabitants of the City of Birmingham, and will not substantially impair the intent and purpose of this Ordinance.

History:

The parcel is located at 3200 16th Street North and it resides within the C-1 Neighborhood Commercial Zoning District. The property has an existing 6-foot-height galvanized chain link fence along its 16th Street North frontage and an access gate located at the 32nd Avenue North. The existing fence has barbed wired located along the uppermost portion and in its current installment does not match the characteristics of the properties within the immediate area. Staff researched past fencing permits on the property and did not locate a fence permit being the fencing was erected prior to the City of Birmingham's 2006 fence permit ordinance. The applicant is proposing to improve the existing galvanized fencing by replacing it with a black vinyl coated chain link fence and a wrought iron access gate along the 32nd Avenue ingress/egress that would be consistent with the precast cap and design wrought iron fencing further south of the proposed installation.

Staff Analysis:

Staff conducted a site visit of the property on January 30, 2020 and observed the condition of the existing galvanized chain link fence to include the proposed fencing, wrought iron gated access and monument signage to be located along 16th Street North and 32nd Avenue North. It was confirmed the applicant possess a hardship of Unique Characteristics being fencing was installed at the property prior to the fencing ordinance by the City of Birmingham and the C-1 Zoning District the property is located abuts a D-3 Single-Family Zoning District. The applicant is proposing to construct a black vinyl coated 6-foot-height chain link fence along the property's 16th Street frontage and to install a monument sign and wrought iron gate all which will improve the aesthetics in the area and cause the fencing to be more in line with commercial properties that share proximity to residential properties. The applicant will also erect a monument sign with the proper spacing so not to violate an on premise sign being within 15-feet of a residential zoning boundary per the City of Birmingham sign ordinance.

The applicant does meet the requirements of the Variance review standards.

Staff Recommendation

Staff believes the applicant has provided sufficient evidence to support the variance request. Therefore, staff believes the request has merit for approval and as such, should be **GRANTED** subject to the following conditions:

1. Review by the appropriate zoning inspector to insure compliance with the Board's decision.
2. Applicant must obtain a fence permit associated with the approval of this request within 30 days from the date of the Boards approval.

ONE STOP PERMITTING

CITY OF BIRMINGHAM
DEPARTMENT OF PLANNING, ENGINEERING & PERMITS
710 20th Street, North
ROOM 210, CITY HALL
BIRMINGHAM, ALABAMA 35203

Randall L. Woodfin, Mayor

Edwin Revell, Director

APPLICATION TO THE ZONING BOARD OF ADJUSTMENT

Date _____
Case No. _____
Master No. _____
Project No. _____

P.I.D. No.: _____ Address Verified By: _____
Modified Address: _____

Please print or type legibly and fill in all that apply

Site Address: 3200 16th Street North, Birmingham AL Zip Code: 35207
Location: American Cast Iron Pipe Company (ACIPCO) North Entrance West of 16th Street
Project Name: ACIPCO Secure Plant Entry
Lot(s) 1-B1 Block(s) 1-A Survey RES ACIPCO 1984 22-22-1
Lot(s) _____ Block(s) _____ Survey _____
Lot(s) _____ Block(s) _____ Survey _____
 Metes and Bounds Attached

OWNER
American Cast Iron Pipe Company
NAME: _____
ADDRESS: 1501 31st Ave North
CITY/STATE/ZIP: Birmingham, AL 35207
PHONE: (205 325-7703) CELLULAR: 205 965-7153
FAX: () PAGER: ()
EMAIL: aabbruzzo@acipco.com

APPLICANT*
NAME: Tony Stephens
COMPANY NAME: Brasfield & Gorrie, L.L.C.
ADDRESS: 3021 7th Ave South
CITY/STATE/ZIP: Birmingham, AL 35233
PHONE: (205 714-1530) CELLULAR: (205 223-8870)
FAX: (205 714-1610) PAGER: ()
EMAIL: tstephens@brasfieldgorrie.com
*Applicant is required to be authorized by owner to undertake work

TYPE OF REQUEST

Under the following provisions of the Zoning Ordinance of the City of Birmingham, Alabama, the Zoning Board of Adjustment is hereby requested to:

- Hear an Appeal from a decision of the Director of the Department of Planning, Engineering and Permits Department (Article VIII, Sec. 5.3)
- Modification – Modify the strict application of the provisions of the Zoning Ordinance (Article VIII, Sec. 5.3)
- Variance – Authorize a variance from the terms of the Zoning Ordinance (Article VIII, Sec. 5.2)
- | | | | | |
|--|---|---|---|--|
| <input type="checkbox"/> Accessory Structure | <input type="checkbox"/> Adult Establishments | <input type="checkbox"/> Child/Adult Care | <input type="checkbox"/> Communal Living Facility | <input checked="" type="checkbox"/> Fences |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Height | <input type="checkbox"/> Manufactured Housing | <input type="checkbox"/> Non-Confirming Uses | <input type="checkbox"/> Parking |
| <input type="checkbox"/> Public | <input checked="" type="checkbox"/> Signs | <input type="checkbox"/> Yards | <input type="checkbox"/> Other _____ | |
- Special Exception – Cause a permit to be issued for a special exception (Article VIII, Sec. 5.4 or Article V, Sec. 1)
- | | | | | |
|--|---|---|---|----------------------------------|
| <input type="checkbox"/> Accessory Structure | <input type="checkbox"/> Adult Establishments | <input type="checkbox"/> Child/Adult Care | <input type="checkbox"/> Communal Living Facility | <input type="checkbox"/> Fences |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Height | <input type="checkbox"/> Manufactured Housing | <input type="checkbox"/> Non-Confirming Uses | <input type="checkbox"/> Parking |

Description of Work or Request: Replace existing 6' chain link fence & barb wire to new 6' black vinyl coated chain link fence along 16th Street and include brick monument sign for facility - see attached drawings

If you have a hardship/practical difficulty, please explain: _____

SECTION II TEXT CHANGE

FOR STAFF USE

Amendment to: Title: _____ Article: _____ Title: _____

- See Attachment
 In words substantially as follows: _____

PLANS REQUIRED

Yes No

PERMIT FEE WAIVED

Yes No

REFERENCE CASES:

COMMENTS

CERTIFICATION

I fully understand that, upon the filing of this application and the payment of the filing fee to defray the expenses of investigation and processing this application, there shall be no refunds made to me and that the payment of said filing fee shall in no way entitle me to the change, amendment, supplement, modification or repeal as herein applied for. If an amendment to text of Zoning Ordinance is proposed, please complete applicant data. I hereby certify that I have read this application and that all information contained herein is true. If any portion of this information, either intentionally or unintentionally, is false or is a misrepresentation of the material facts, the permit or process granted will be void. I further certify that if I am not the owner, I have proper authorization from the owner to act as representative on his/her behalf and that I may be required to provide written documentation of such authorization to the City of Birmingham.

Signature (Owner) J.M. [Signature] Date 1-16-2020
Signature (Owner) _____ Date _____

Hearing Date: _____ Hearing Time: _____ Location: **Room 300, City Hall**

Filing Fees: Single Family Residential Zone District - \$100.00
Multi-Family Residential and Commercial Zone District - \$500.00
Appeals - \$300.00

The Standards for a Variance under Title 1, Chapter 9, Article VI, Section 4 of the Zoning Ordinance of the City of Birmingham

Title 1 – Zoning Ordinance Chapter 9: Administration and Procedures

Article VI. Variances and Modifications.

Section 4. Review standards.

A. To authorize in specific cases a variance from the terms of this Ordinance such as will not be contrary to the public interest, where owing to special conditions a literal enforcement of the provisions of this Ordinance will result in unnecessary hardship, but where the spirit of the Ordinance shall be observed and substantial justice done. **The Board shall not grant a variance without an affirmative finding of fact on each of the following standards based on evidence presented by the applicant.**

1. Physical Characteristics of the Property. The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owner of such property upon the strict application of any regulation enacted by the ordinance codified in this Ordinance.

Existing fencing is being replaced with a more aesthetically pleasing material. Based on the parking requirements of this commercially zoned property the fence line is in the appropriate location to maintain adequate parking and safe access control to the facility.

2. Unique Characteristics. The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area, that the granting of the application is necessary for the preservation and enjoyment of a property right, and not merely to serve as a convenience to the applicant.

This improvement is a necessary safety measure to insure access control is maintained into an industrial facility and is also an aesthetic improvement.

3. Hardship Not Self-Imposed. The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property.

No hardship has been created by previous actions. This improvement is to replace deteriorating fencing with new more aesthetically pleasing fencing.

4. Financial Gain Not Only Basis. Financial gain is not the sole basis for granting the variance.

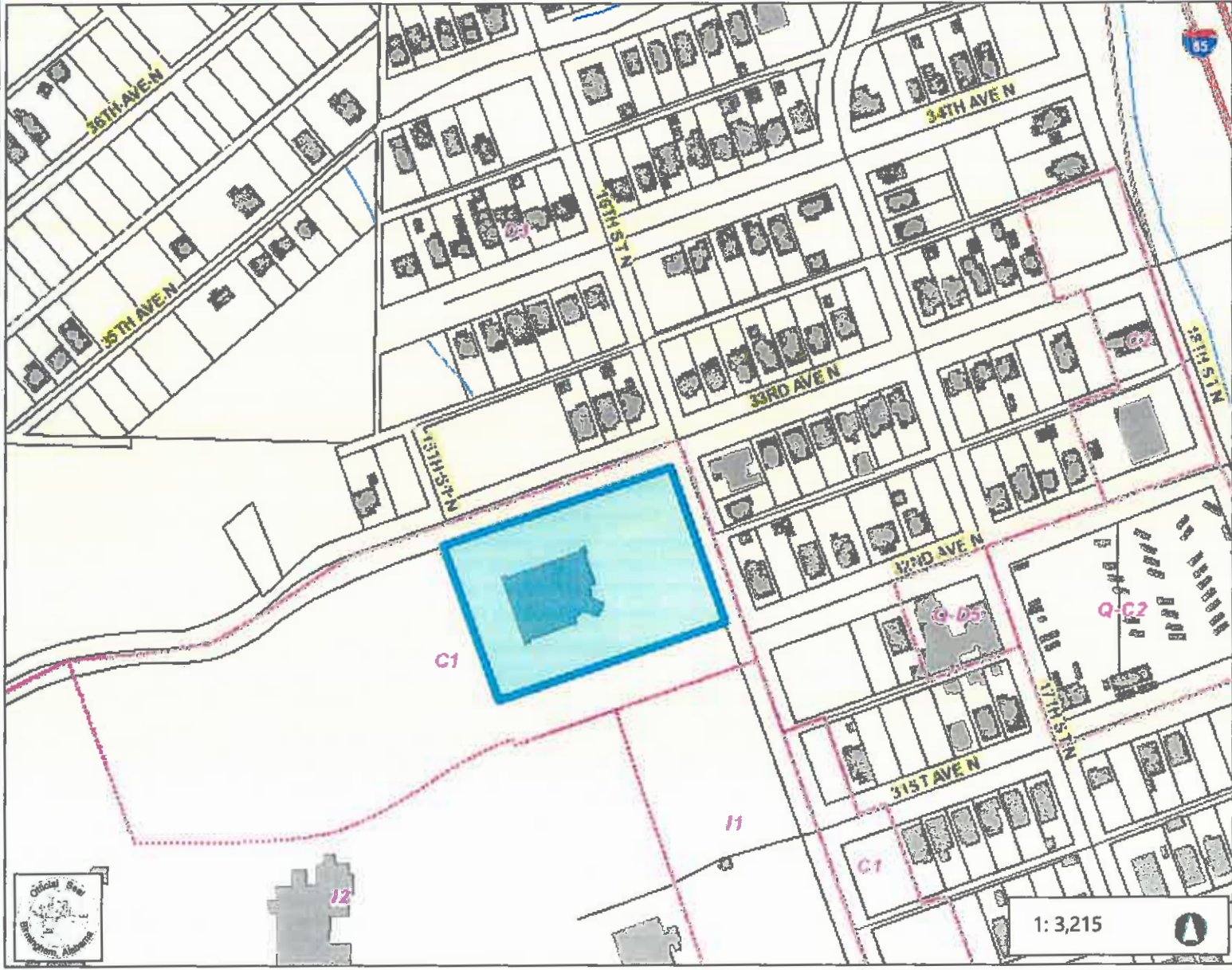
No financial gain is pertinent. To the contrary this is an expense to upgrade and aesthetically improve the property to maintain safety and security to the facility and surrounding properties and their residents.

5. No Injury to Neighboring Property. The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

To the contrary this is an expense to upgrade and aesthetically improve the property and should increase aesthetics to neighboring properties.

6. No Harm to Public Welfare. The granting of the variance will not be detrimental to the public welfare, increase the congestion in public streets, or increase the danger of fire, or imperil the public safety, or in any other respect impair the health, safety, comfort, morals, or general welfare of the inhabitants of the City of Birmingham, and will not substantially impair the intent and purpose of this Ordinance.

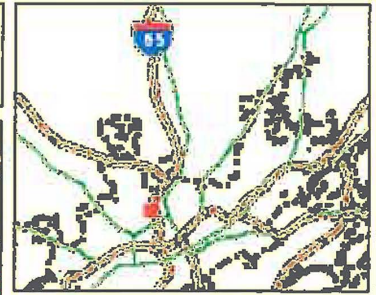
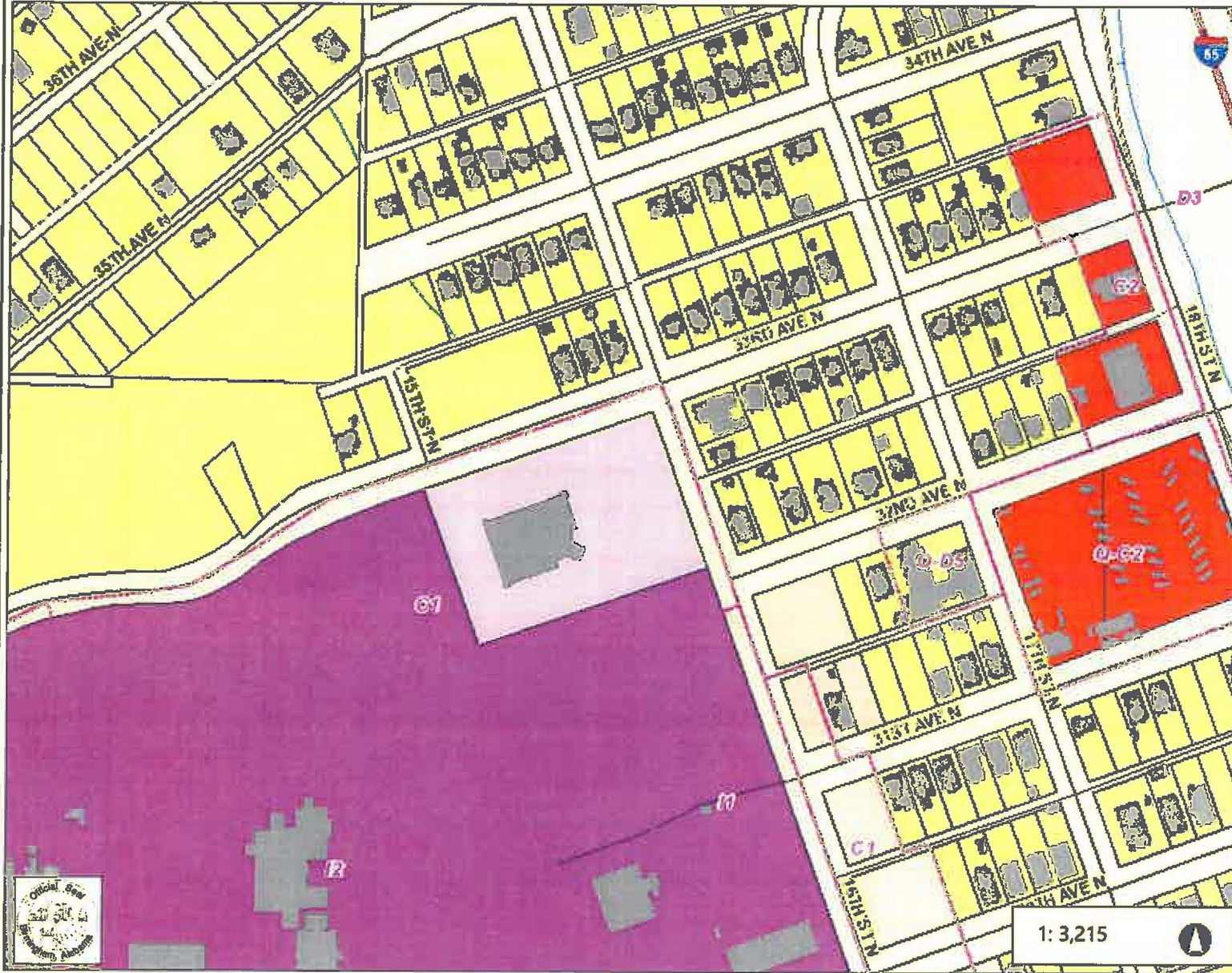
This improvement will not harm the public welfare but should actually increase the safety and comfort of all in the community by improving the aesthetics of the area while maintaining safety to the community by controlling access around the facility.



Legend

- Centerline Labels
- Zoning Outline
- Railroad
- Alleys
- Local Roads
- Arterials
- County Highways
- State Highways
- US Highways
- Interstates
- Limited Access
- Ramp
- Buildings
- Hydrology Lines
- Hydrology Areas
- Parcels
- City Parks
- Airport
- City Limits (solid)

Notes



Legend

- Centerline Labels
- Zoning Outline
- Railroad
- Alleys
- Local Roads
- Arterials
- County Highways
- State Highways
- US Highways
- Interstates
 - Limited Access
 - Ramp
- Buildings
- Hydrology Lines
- Hydrology Areas
- Parcels
- City Parks
- Airport
- Adopted LandUse Plan**
 - Residential-Low
 - Residential-Medium
 - Residential-High
 - Neighborhood Commercial
 - General Commercial
 - MXU-Low
 - MXU-Medium



1: 3,215



The City of Birmingham makes no warranty, expressed or implied, as to the accuracy of the information represented herein. This map is a user generated static output from an internet mapping site and is for general reference only.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

PARCEL ID: 012200221008001000

SOURCE: TAX ASSESSOR RECORDS **TAX YEAR:** 2018

DATE: Wednesday, January 29, 2020 1:44:36 PM

OWNER: AMERICAN CAST IRON PIPE CO

ADDRESS: PO BOX 2727

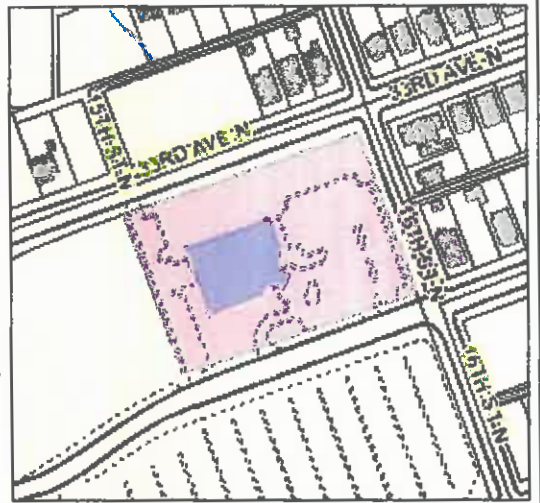
CITY/STATE: BIRMINGHAM AL

ZIP+4: 35202--2727

SITE ADDR: 3230 16TH ST N

CITY/STATE: BHAM, AL

ZIP: 35207



LAND: \$57,600.00

BLDG: \$3,007,500.00

OTHER: \$0.00

AREA: 132,122.34

ACRES: 3.03

SUBDIVISION INFORMATION:

NAME RES ACIPCO 1984 22-22-1

BLOCK: 1-A

LOT: 1B2

Section: 22-17-3W; 15-17-3W
Land Slide Zones: Not in Land Slide Zones
Historic Districts: Not in Historic Districts
Commercial Revitalization District: Not in Commercial Revitalization District
Fire District: Not in Fire District
Flood Zones: Not in Flood Zones
Tax Increment Financing District: Not in Tax Increment Financing District
Neighborhoods: Acipco-Finley (1101)
Communities: NORTH BIRMINGHAM (11)
Council Districts: District - 9 (Councilor: John Hilliard)
Zoning Outline: C1
Demolition Quadrants: DEM Quadrant - 3
Impaired Watersheds: Impaired Watershed - Upper Village Creek
Strategic Opportunity Area: Not in Strategic Opportunity Area
RISE Focus Area: Not in RISE Focus Area
Tax Delinquent Property: Not in Tax Delinquent Property
EPA Superfund: Not in EPA Superfund
Opportunity Zones: In Opportunity Zones
Judicial Boundaries: JEFFERSON

Parcel mapping and description information is obtained from the Jefferson County Tax Assessor's Office. This site does not provide real-time information and may contain errors. All data should be verified with the official source. The City of Birmingham makes no warranty as to the accuracy of the data and assumes no responsibility for any errors. Data from the Tax Assessor's Office may not be available for all parcels.



replace old 6' chain link fence w/barb wire with new 6' black vinyl coated fence with NO barb wire

remove old fencing in front of new fence line monument

new decorative wrought iron fence & gates to match existing

Johnny A. Curren, RPH

Rebecca S. Galletly, RPH

Acipco United Methodist Church

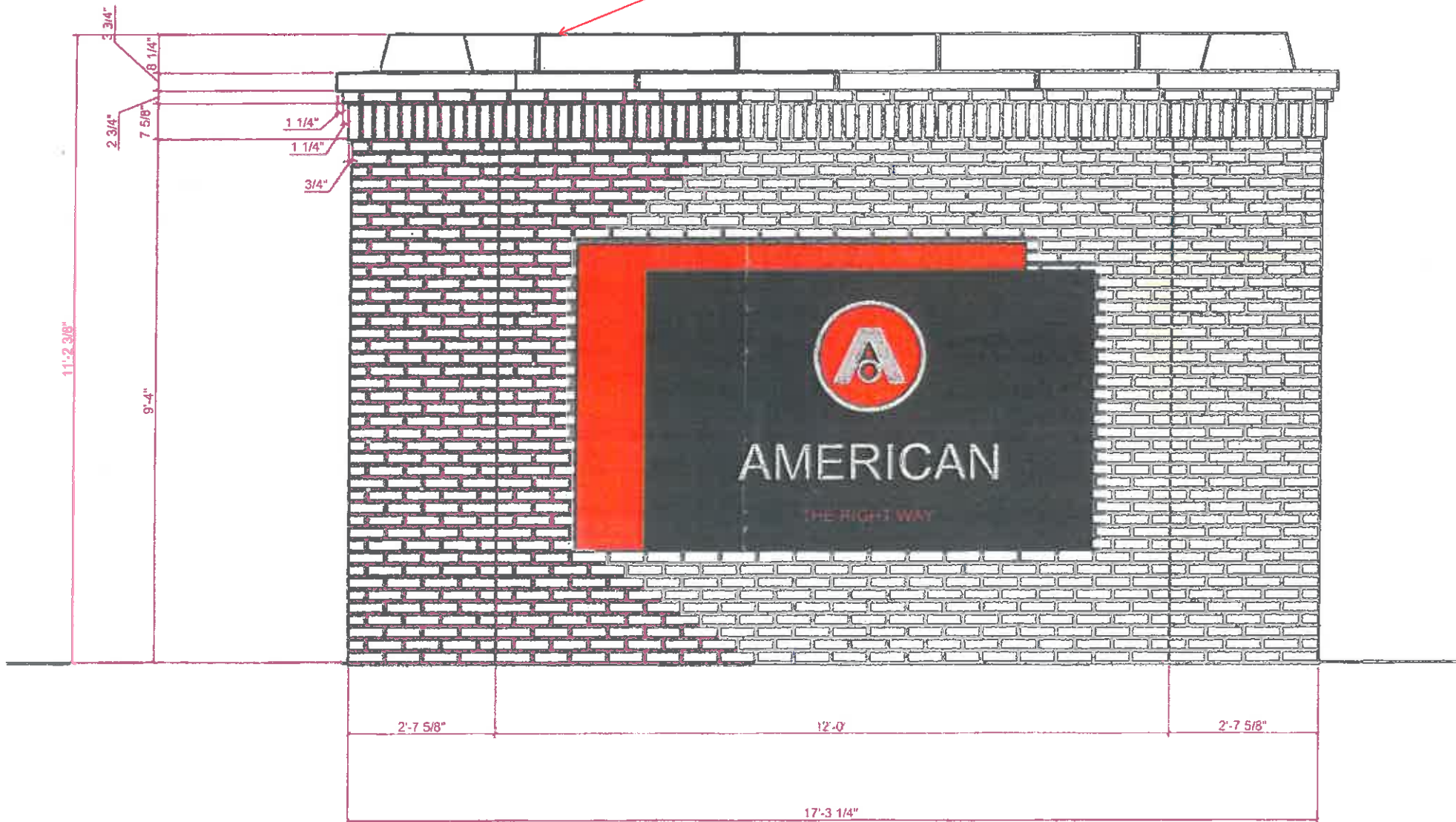


replace old galvanized
fencing with new vinyl
coated 6' chain link

New monument wall here

new wrought iron access
entrance to match existing

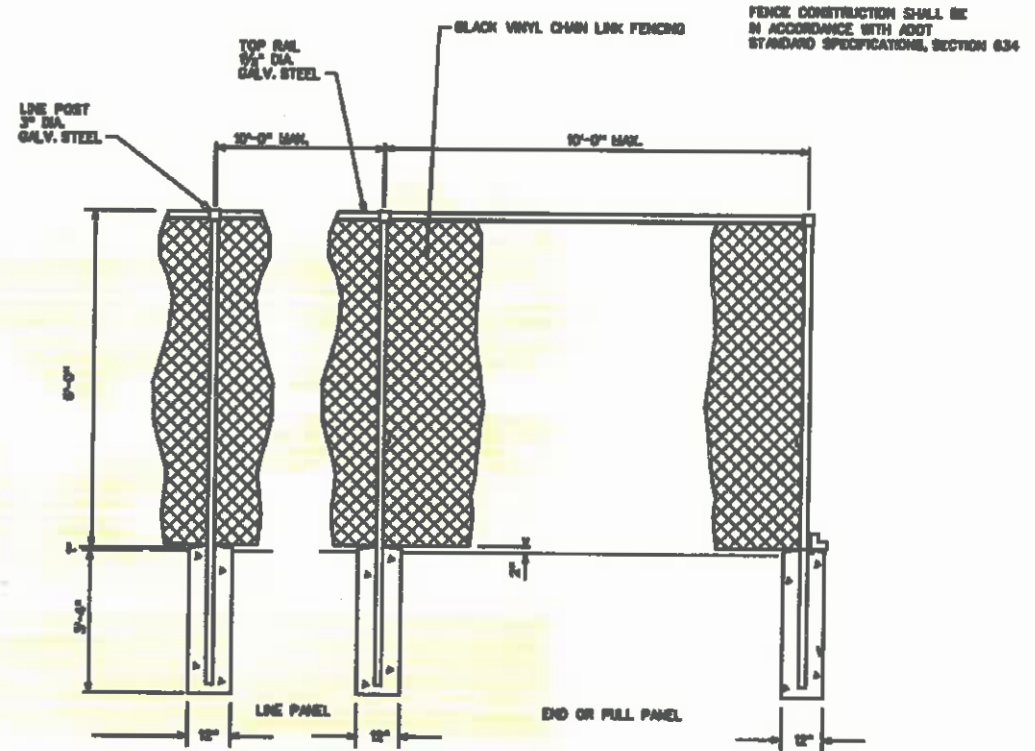
precast cap to match existing at other entrance





new wrought iron fencing
to match existing

6' BLACK VINYL COATED CHAIN LINK FENCING TO BE USED



CHAIN LINK FENCE DETAIL

NO SCALE

ZBA2020-00009 Site Visit



Entrance gate

ZBA2020-00009 Site Visit



6ft chain link Fence along 33rd Ave N