

Meeting – August 13, 2020
Location – WebEx/ Teleconference
Time - 2:00PM
Pre-Meeting - 1:00PM
Webex/Teleconference

Neighborhood: Green Acres

Staff Planner Moton

ZBA2020-00024
CONTINUED

Request: Variance to allow a 5ft chain link fence in the required front yard area
Title 1 Chapter 4 Subsection 3.A.1 page 182

Applicant: Francisco Navarrete Escobar

Owner: Francisco Navarrete Escobar

Site Address: 1517 57th St EN

Zip Code: 35228

Description: The applicant is requesting to allow a 5ft chain link fence in the front yard area

Property Zoned: D-3 Single Family District

Parcel Information: Parcel #: 012900181007001000, NE of Section 18, Township 18 S, Range 3 W

Variance:

The applicant is requesting a variance to allow a 5ft chain link fence in the front yard.

Neighborhood Meeting:

The Green Acres Neighborhood Association chose not vote on this request.

Public Notices:

Public notices were mailed on July 29, 2020.

Applicant's Justification:

The applicant provided documentation of the six (6) variance standard request questions. The information has been submitted as part of the ZBA Packet.

1. Physical Characteristics of the Property. The new fence that I built is 150 feet long and 5 feet high, my house is on a flat lot in a corner crossing on the right and left side. In the back there is a fence that was already there when I bought the house.
2. Unique Characteristics. The characteristics of the fence that I built is that the material I use is metal, so I consider that it does not affect the style of the neighborhood, on the contrary it can be seen that I am not trying to hide anything just with the possible care and security.
3. Hardship Not Self-Imposed. In no way has anything been self-imposed for the intention of obtaining the of the property at a better price but only the wellbeing of my family.
4. Financial Gain Not Only Basis. I do not intend to obtain a variance through a financial interest.
5. No Injury to Neighboring Property. I consider that the construction of this fence does not cause any injury or affect any light, air supply to the adjacent property.
6. No Harm to Public Welfare. I consider that the fence does not cause any problem to the public well-being, it does not even increase the road congestion, or there is no danger of fire or moral health, the only thing I want to add asking for prior permit, I did not intend breaking Birmingham City Rules.

Staff Analysis:

The subject property located at 1517 57th St is zoned D-3, Single Family District. The 5ft chain link fence is located in the front yards off of 57th St and Court O.

The applicant does not meet the requirement of the six variance standards.

Staff Recommendation

Staff believes the applicant has not provided sufficient evidence to support the variance request.

Therefore, staff believes the request has merit for denial and as such, should be **DENIED**.

PARCEL ID: 012900181007001000

SOURCE: TAX ASSESOR RECORDS **TAX YEAR:** 2019

DATE: Tuesday, June 30, 2020 11:59:27 AM

OWNER: NEXT STEP INVESTMENTS LLC & SHO

ADDRESS: 2418 GREEN SPRINGS HWY #30

CITY/STATE: BIRMINGHAM AL

ZIP+4: 35209

SITE ADDR: 1517 57TH ST

CITY/STATE: BHAM, AL

ZIP: 35228



LAND: \$14,200.00

BLDG: \$59,800.00

OTHER: \$0.00

AREA: 10,900.56

ACRES: 0.25

SUBDIVISION INFORMATION:

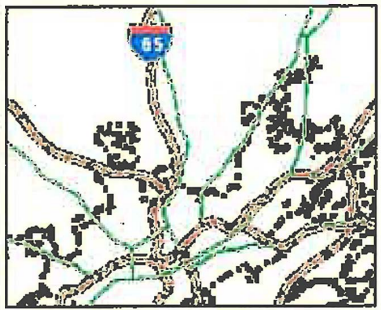
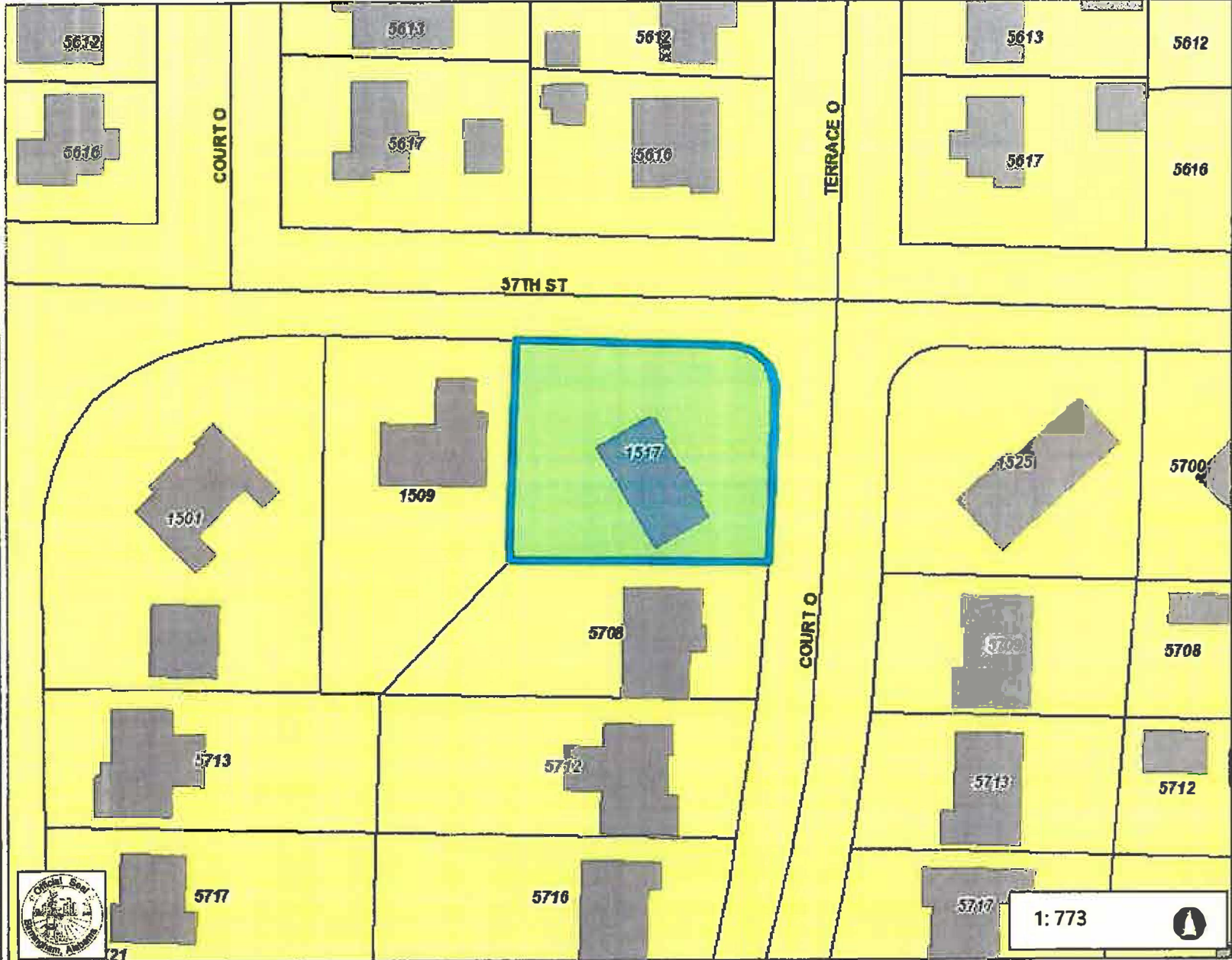
NAME PARK COURTS 2ND SECTOR

BLOCK: 1

LOT: 3

Section: 18-18-3W
Land Slide Zones: Not in Land Slide Zones
Historic Districts: Not in Historic Districts
Commercial Revitalization District: Not in Commercial Revitalization District
Fire District: Not in Fire District
Flood Zones: Not in Flood Zones
Tax Increment Financing District: Not in Tax Increment Financing District
Neighborhoods: Green Acres (206)
Communities: Five Points West (2)
Council Districts: District - 7 (Councilor: Wardine Alexander)
Zoning Outline: D3
Demolition Quadrants: DEM Quadrant - 2
Impaired Watersheds: Not in Impaired Watersheds
Strategic Opportunity Area: Not in Strategic Opportunity Area
RISE Focus Area: Not in RISE Focus Area
Tax Delinquent Property: Not in Tax Delinquent Property
EPA Superfund: Not in EPA Superfund
Opportunity Zones: Not in Opportunity Zones
Judicial Boundaries: JEFFERSON

Parcel mapping and description information is obtained from the Jefferson County Tax Assessor's Office. This site does not provide real-time information and may contain errors. All data should be verified with the official source. The City of Birmingham makes no warranty as to the accuracy of the data and assumes no responsibility for any errors. Data from the Tax Assessor's Office may not be available for all parcels.



- Legend**
- Centerline Labels
 - + Railroad
 - Alleys
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 - US Highways
 - Interstates
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 - Ramp
 - Buildings
 - Hydrology Lines
 - Hydrology Areas
 - Parcels
 - City Parks
 - Airport
 - Zoning Shaded
 - R1; D1 - Single Family District - Cla
 - R2; D2 - Single Family District - Cla
 - R3; D3 - Single Family District; R3
 - R4; D4 - Two Family District; R4
 - R4A - Multiple Dwelling District
 - R5; D5 - Multiple Family District; D5
 - R6; D6 - Multiple Family District
 - R7 - Multiple Family District

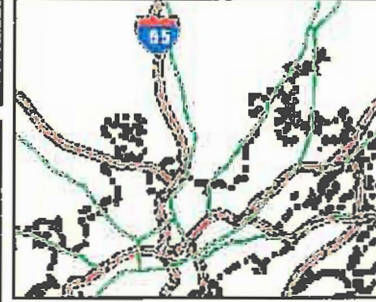


1: 773



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Notes

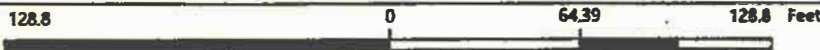


Legend

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- Airport
- Adopted LandUse Plan**
- Residential-Low
- Residential-Medium
- Residential-High
- Neighborhood Commercial
- General Commercial
- MXU-Low
- MXU-Medium
- MXU-High

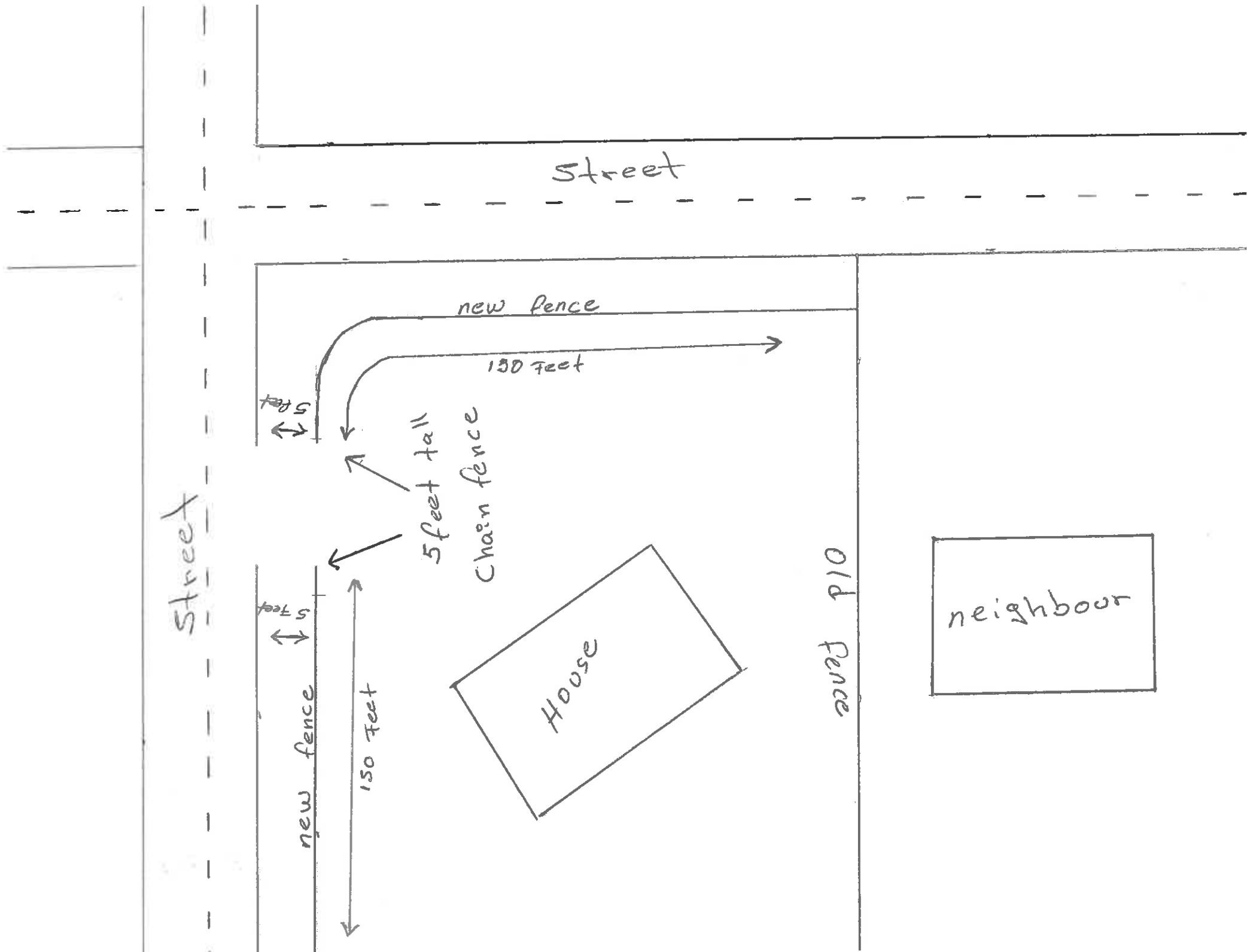


1: 773



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Notes







Meeting – August 13, 2020
Location – Webex/Teleconference
Time - 2:00PM
Pre-Meeting - 1:00PM
Department of Planning Engineering & Permits Conference Room, Fifth Floor

Neighborhood: Redmont Park

Staff Planner Moton

ZBA2020-00031

CONTINUED

Request: Variance to allow an additional monument sign at the Cahaba Rd/ Lane park intersection pursuant to Title 2, Chapter 1, Article I, Section 7, Subsection 2.10

Applicant: David Brandt
Owner: Birmingham Botanical Gardens
Site Address: 2612 Lane Park Road
Zip Code: 35223
Description: Variance to allow an additional monument sign
Property Zoned: R-3 Single Family Residential District
Parcel Information: Parcel #: 012800082002001000, NW of Section 8, Township 18 S, Range 2 W

Variance:

Variance to allow an additional monument sign at the Cahaba Rd/ Lane Park intersection.

Neighborhood Meeting:

The Redmont Park Neighborhood Association; waiting on vote.

Public Notices:

Mailed out on August 7, 2020.

Applicant's Justification:

The applicant provided documentation of the six (6) variance standard request questions. The information has been submitted as part of the ZBA Packet.

1. Physical Characteristics of the Property: The BBG is a 67.5acre property that spans nearly 2,000 linear feet along Lane Park Road and 1,700 linear feet along Cahaba Road, with entrances along each said road. This exceptionally large-sized property needs more signage than what is placed at each entrance, to allow visitors to understand that they are within proximity of the property and headed in the right correct direction, particularly visitors traveling eastbound, and also visitors that have driven to the entrance off of Cahaba Road (which is a pedestrian entrance) and need to make their way to the vehicular entrance off of Lane Park Road.

2. Unique Characteristics: Both the large size and wedge-shaped nature of the property are unique characteristics that would necessitate having an additional sign at the proposed location. The placement of this sign at the proposed location would assist the public in 'triangulating' the property and allow visitors to better get their bearings as they drive or walk along the entryway roads to locate either of the two entrances.

3. Hardship Not Self-Imposed: There is nothing that the property ownership has done that has created a self-imposed hardship that would necessitate the allowance of this proposed sign. The unique shape of the property is dictated by the roads it is bound by (Lane Park Road and Cahaba Road).

4. Financial Gain Not Only Basis: The BBG is a major and long-standing contributor to the Birmingham community from a cultural, educational and entertainment standpoint. The purpose of this proposed sign is to facilitate the proper identification of the property and to ultimately further these key values.

5.No Injury to Neighboring Property: In no way will this proposed sign pose threat of injury to any of the neighboring properties.

6.No Harm to Public Welfare: The proposed size, location and positioning of the proposed sign was chosen as a function of optimal visibility and driver safety. It poses no threat of public welfare.

Staff Analysis:

The subject property is located in the R-3, Single Family District. The property is located in Highway 280 Overlay District and it meets the overlay guidelines. The existing sign on the property consist of 1 monument sign on Cahaba Rd is 16.6 sf, the 2 signs on Lane Park is 16.6 sf and 3 sf. The propose monument sign is 55.22 sf.

The applicant does meet requirements of the Variance review standards.

Staff Recommendation

Staff believes the applicant has provided sufficient evidence to support the variance request. Therefore, staff believes the request has merit for approval and as such, should be **GRANTED** subject to the following conditions:

1. Review by the appropriate zoning inspector to insure compliance with the Board's decision.
2. All permits and certificate of completion should be obtain within one year of the approval date from the Board.

PARCEL ID: 012800082002001000

SOURCE: TAX ASSESSOR RECORDS **TAX YEAR:** 2019

DATE: Monday, July 6, 2020 11:34:41 AM

OWNER: BIRMINGHAM CITY OF

ADDRESS: 710 20TH ST N

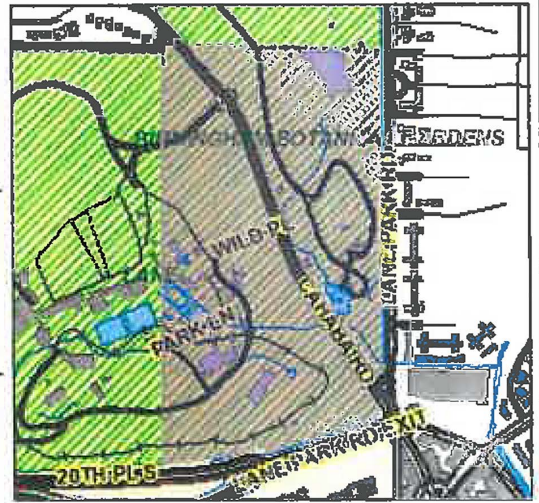
CITY/STATE: BIRMINGHAM AL

ZIP+4: 35203--2216

SITE ADDR: 2635 CAHABA RD

CITY/STATE: BIRMINGHAM, AL

ZIP: 35223



LAND: \$13,920,000.00

BLDG: \$0.00

OTHER: \$0.00

AREA: 2,458,054.02

ACRES: 56.43

SUBDIVISION INFORMATION:

NAME

BLOCK: 0000

LOT: 0000

Section: 8-18-2W; 5-18-2W

Land Slide Zones: Not in Land Slide Zones

Historic Districts: Not in Historic Districts

Commercial Revitalization District: Not in Commercial Revitalization District

Fire District: Not in Fire District

Flood Zones: In Flood Zones

Tax Increment Financing District: Not in Tax Increment Financing District

Neighborhoods: Redmont Park (1403)

Communities: Red Mountain (14)

Council Districts: District - 3 (Councilor: Valerie A. Abbott)

Zoning Outline: R3

Highway 280 Overlay Outline: In Highway 280 Overlay Outline

Demolition Quadrants: DEM Quadrant - 3

Impaired Watersheds: Impaired Watershed - Upper Shades Creek

Strategic Opportunity Area: Not in Strategic Opportunity Area

RISE Focus Area: In RISE Focus Area

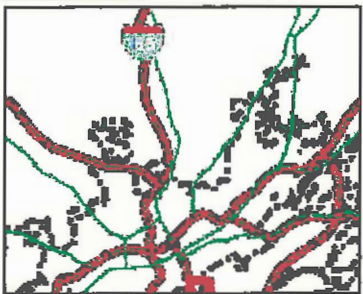
Tax Delinquent Property: Not in Tax Delinquent Property

EPA Superfund: Not in EPA Superfund

Opportunity Zones: Not in Opportunity Zones

Judicial Boundaries: JEFFERSON

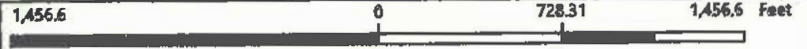
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 - R4A - Multiple Dwelling District
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1: 8,740



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 - General Commercial
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 - MXU-High



1,456.6 0 728.31 1,456.6 Feet

1: 8,740

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Notes



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PROPOSED
NEW SIGN

EXISTING SIGNAGE
AT ENTRANCEWAYS



Google

Image capture: Mar 2019 © 2020 Google

Google

Street View



2

Google Maps 2400 Lane Park Rd



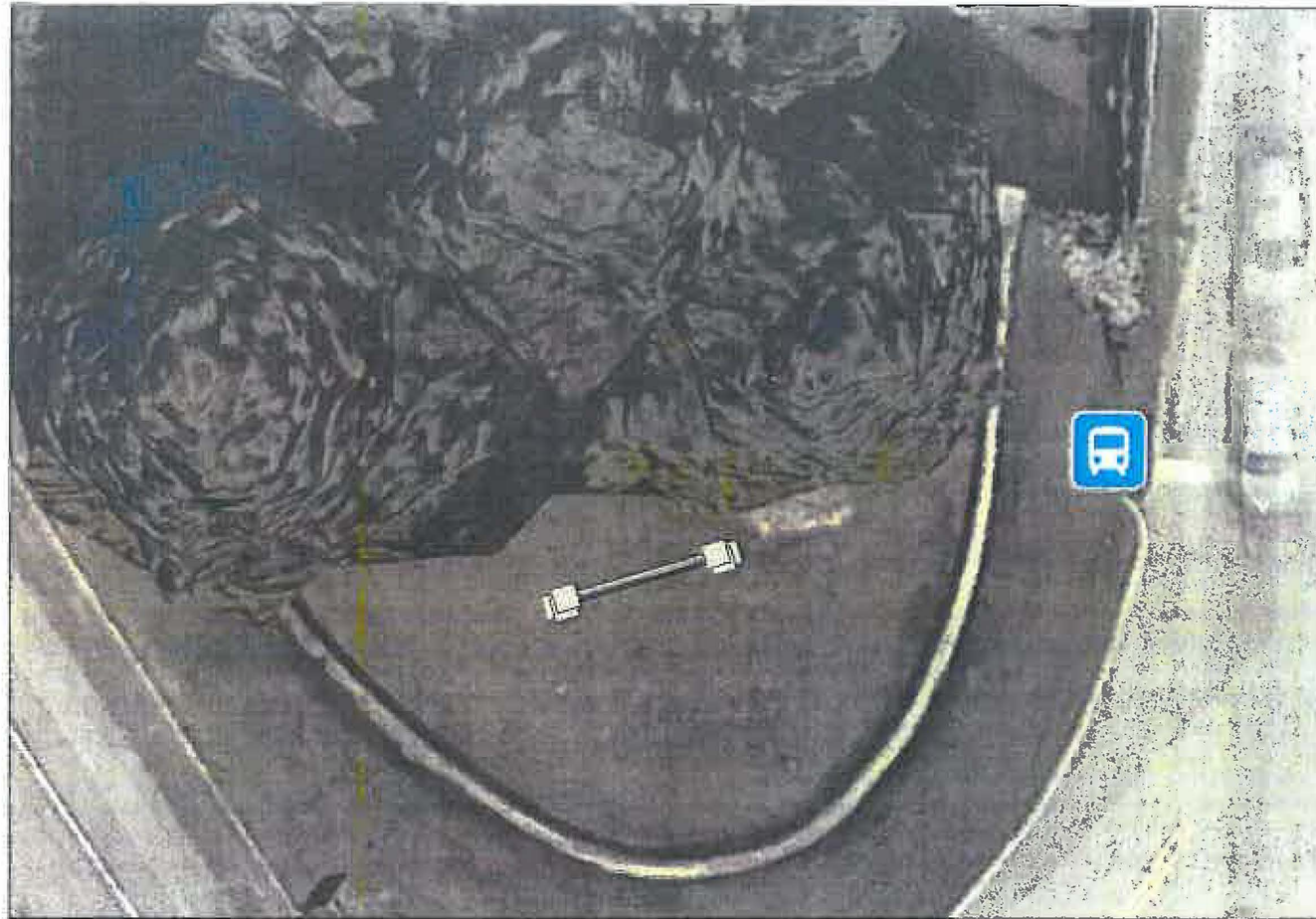
Image capture: Nov 2018 © 2020 Google

Birmingham, Alabama

Google

Street View





1 MAP VIEW
SCALE 3/32" = 1'

STATUS
■ Client Review



133 Ward Park Drive Birmingham, AL 35271
205.940.7180 1800.743.7191
205.940.7180 - fax
formula@formuladesign.com

Monument at Cahaba and Lane

DESIGN REF #: 18050808

Monument Concept

EXTERIOR MONUMENT

E:\GENERAL COMPANIES\Birmingham Botanical Gardens\Monument at Cahaba & Lane\Schematic Design\Exterior Monument Concept

DESIGNER: ADB MANAGER: DAVID BRANDT

PAGE:

4



133 West Park Drive Birmingham, AL 35211
1.205.940.7160 1.800.743.7191
1.205.940.7160 - fax
formuladesign.com

Monument at Cahaba and Lane

DESIGN REF #: 18050808

Monument Concept

EXTERIOR MONUMENT

I:\7. GENERAL COMPANIES\Birmingham Botanical Gardens\Monument at Cahaba & Lane\Schematic Design\Exterior Monument Concept

DESIGNER: ABS

MANAGER: DAVID BRANDT

PAGE:

1



133 West Park Drive Birmingham, AL 35211
1205.940.7180 1800.743.7181
1205.940.7180 - fax
formula.design

Monument at Cahaba and Lane
DESIGN REF #: 18050808

Monument Concept
EXTERIOR MONUMENT

I:\7_GENERAL COMPANIES\Birmingham Botanical Gardens\Monument at Cahaba & Lane\Schematic Design\Exterior Monument Concept
DESIGNER: ABS MANAGER: DAVID BRANDT



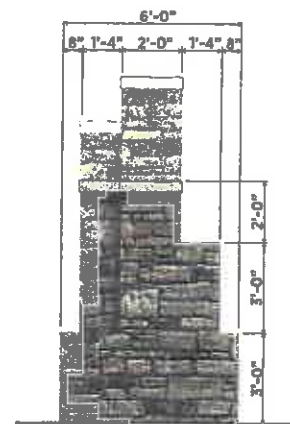
4 TOP VIEW
SCALE: 1/4" = 1'-0"



1 LEFT SIDE VIEW
SCALE: 1/4" = 1'-0"



2 FRONT VIEW
SCALE: 1/4" = 1'-0"



3 RIGHT SIDE VIEW
SCALE: 1/4" = 1'-0"

MATERIALS / FINISHES

-  .125 Alum
-  3" x 3" Square Alum Tube
-  Hex bolt #1 - Black (size TBD)
-  Hex bolt #2 - stainless steel (size TBD)
-  Hex bolt #3 - stainless steel (size TBD)
-  Lagbolt
-  6" x 6" x 3/8" Alum Angle
-  1/4" spacers
-  Flat Black
-  White
-  Faux weathered steel (rusted finish with flat clearcoat)



INSTALLATION

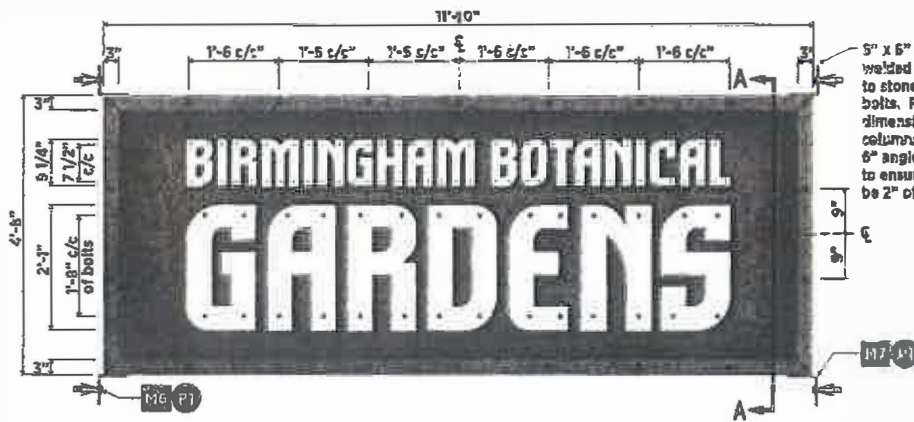
Mount to stone columns using lagbolts. Stone structure by others.

STATUS

■ Client Review

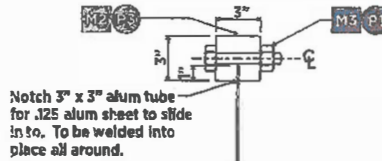


1 TOP VIEW
SCALE: 1/2" = 1'-0"



2 FRONT VIEW
SCALE: 1/2" = 1'-0"

5" x 6" alum angle to be welded to sign and attached to stone structure with lag bolts. Final survey of inside dimension between stone columns is needed before 6" angle is attached to sign to ensure it fits. There should be 2" of wiggle room.



3 SIDE VIEW
SCALE: 1/2" = 1'-0"



4 SECTION A-A
SCALE: 1 1/2" = 1'-0"

Meeting – August 13, 2020
Location – Webex/Teleconference
Time - 2:00PM
Pre-Meeting - 1:00PM
Department of Planning Engineering & Permits Conference Room, Fifth Floor

Neighborhood: East Avondale

Staff Planner Moton

ZBA2020-00035

Request: Variance to allow repairs and expansion to a legal nonconforming structure Title 1, Chapter 9, Article VII, section 3.A.3. page 374
Applicant: Randall Dawkins
Owner: Randall Dawkins
Site Address: 303 48th St S
Zip Code: 35222
Description: Variance to allow repairs and expansion to a legal nonconforming structure
Property Zoned: R-3 Single Family Residential District
Parcel Information: Parcel #: 012300282029008000, NW of Section 28, Township 17 S, Range 2 W

Variance:

Variance to allow repairs and expansion to a legal nonconforming structure Title 1, Chapter 9, Article VII, section 3.A.3. page 374

Neighborhood Meeting:

The East Avondale Neighborhood Association; waiting on vote.

Public Notices:

Mailed out on July 29 ,2020.

Applicant's Justification:

The applicant provided documentation of the six (6) variance standard request questions. The information has been submitted as part of the ZBA Packet.

1.Physical Characteristics of the Property: The original physical characteristics of the property was designed and built in 1952. I am planning on keeping the outside physical charm of this property the same with updates which will compliment this East Avondale Community. I would like to add a master bathroom to the master bedroom and a breakfast nook which take the property from 952 square feet to 1468 square feet which will be adding 600 square feet. This existing property was built in 1952 which makes this property legal nonconforming because it was built prior the zoning ordinance.

2.Unique Characteristics: This legal nonconforming structure was built in 1952 the East Avondale community prior to the zoning ordinance. I plan to repair and remodel this charming East Avondale residence with expansion in the rear setback.

3.Hardship Not Self-Imposed: This property was already built 1952 prior to the zoning ordinance. I would like to repair, remodel and expand this existing property in the rear setback by adding 600 square feet.

4. Financial Gain Not Only Basis: This property was passed down in the family and rather for it turn into a public eye sore I would like to remodel it so we can return and make the home more enjoyable.

5.No Injury to Neighboring Property: These updates will not encroach or bring harm to any of the neighboring properties.

6.No Harm to Public Welfare: These updates will be performed by a licensed contractor in a safe quality controlled environment.

Staff Analysis:

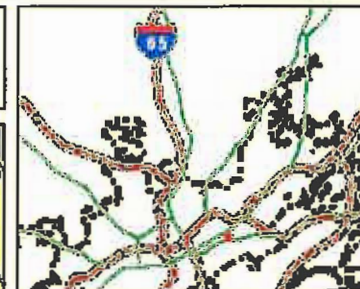
The subject property is located in the R-3, Single Family District and was built in 1952. The applicant is requesting a variance to allow repairs and expansion to a legal nonconforming structure. The property does not meet the side yard setback requirements. The addition will add a master bathroom to the master bedroom and a breakfast nook which take the property from 952 square feet to 1468 square feet which will be adding 600 square feet to the rear of the home making rear yard setback from 30 feet to 25 feet, and will not encroach into the side yard setback.

The applicant does meet requirements of the Variance review standards.

Staff Recommendation

Staff believes the applicant has provided sufficient evidence to support the variance request. Therefore, staff believes the request has merit for approval and as such, should be **GRANTED** subject to the following conditions:

1. Review by the appropriate zoning inspector to insure compliance with the Board's decision.
2. Must resurvey the lot to clear up lot lines by the Subdivision Committee.
3. All permits and certificate of completion should be obtain within one year of the approval date from the Board.

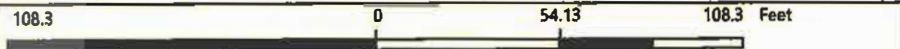


Legend

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 - MXU-High

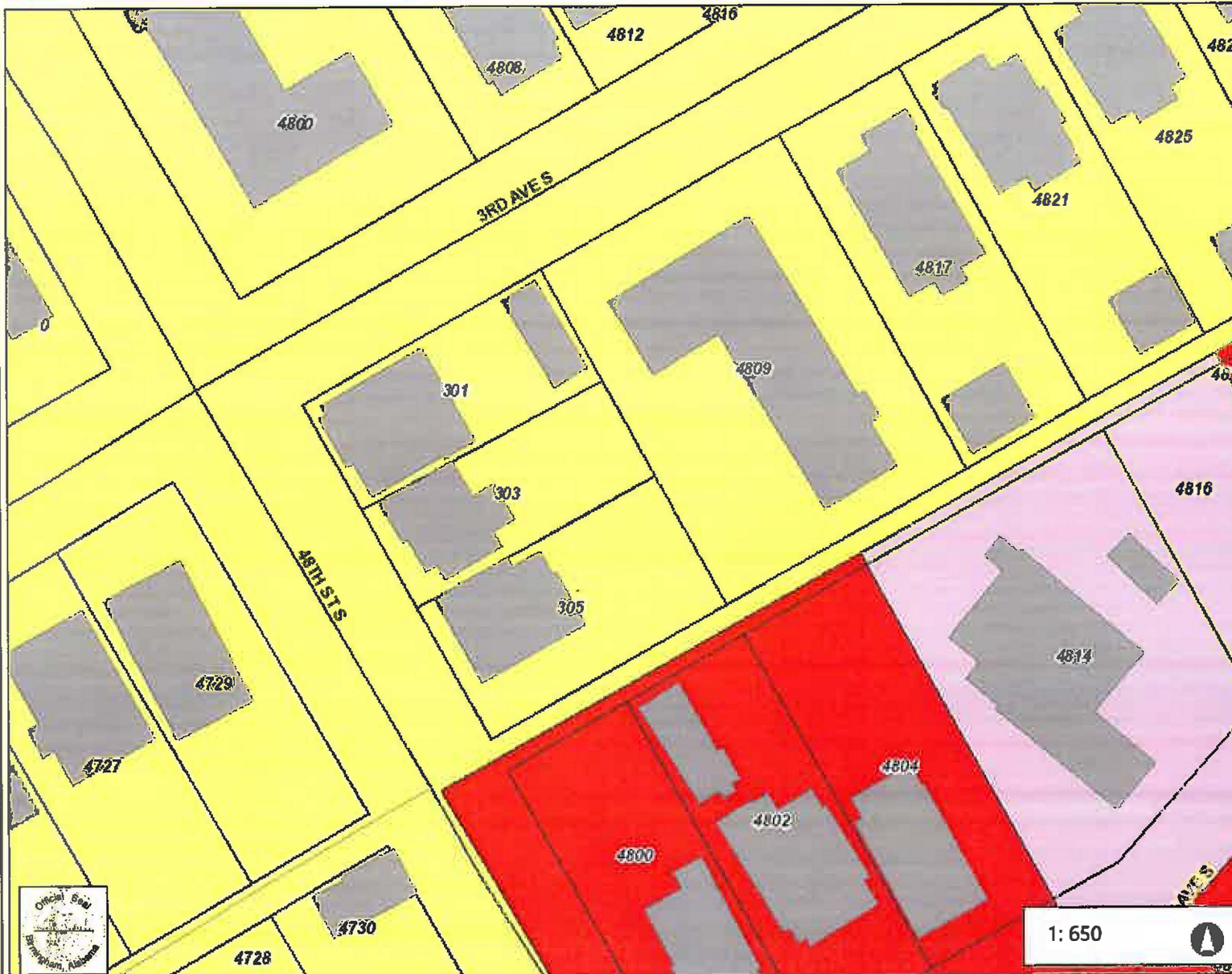
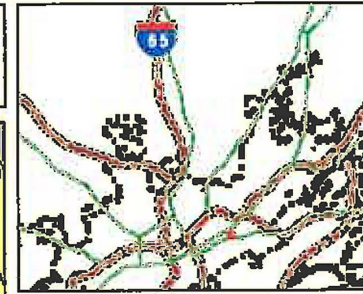


1: 650



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 - R3; D3 - Single Family District; R3
 - R4; D4 - Two Family District; R4
 - R4A - Multiple Dwelling District
 - R5; D5 - Multiple Family District; D5
 - R6; D6 - Multiple Family District
 - R7 - Multiple Family District



1: 650



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Notes

PARCEL ID: 012300282029008000

SOURCE: TAX ASSESOR RECORDS **TAX YEAR:** 2019

DATE: Tuesday, July 28, 2020 11:36:57 AM

OWNER: RICHARDSON TAQUARIS

ADDRESS: 504 78TH STREET NORTH

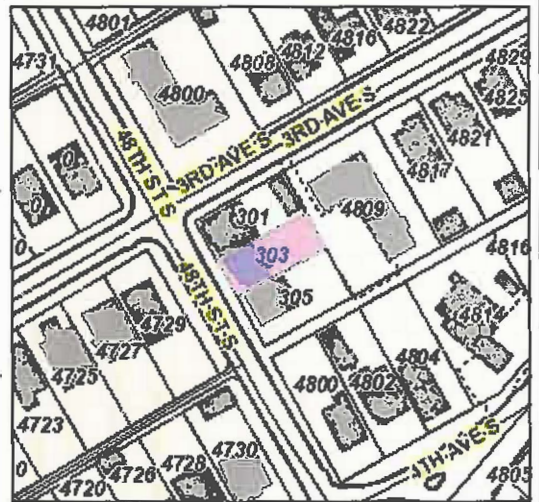
CITY/STATE: BIRMINGHAM AL

ZIP+4: 35206

SITE ADDR: 303 48TH ST S

CITY/STATE: BHAM, AL

ZIP: 35222



LAND: \$58,000.00

BLDG: \$32,500.00

OTHER: \$0.00

AREA: 4,018.83

ACRES: 0.09

SUBDIVISION INFORMATION:

NAME EAST AVONDALE

BLOCK: 28

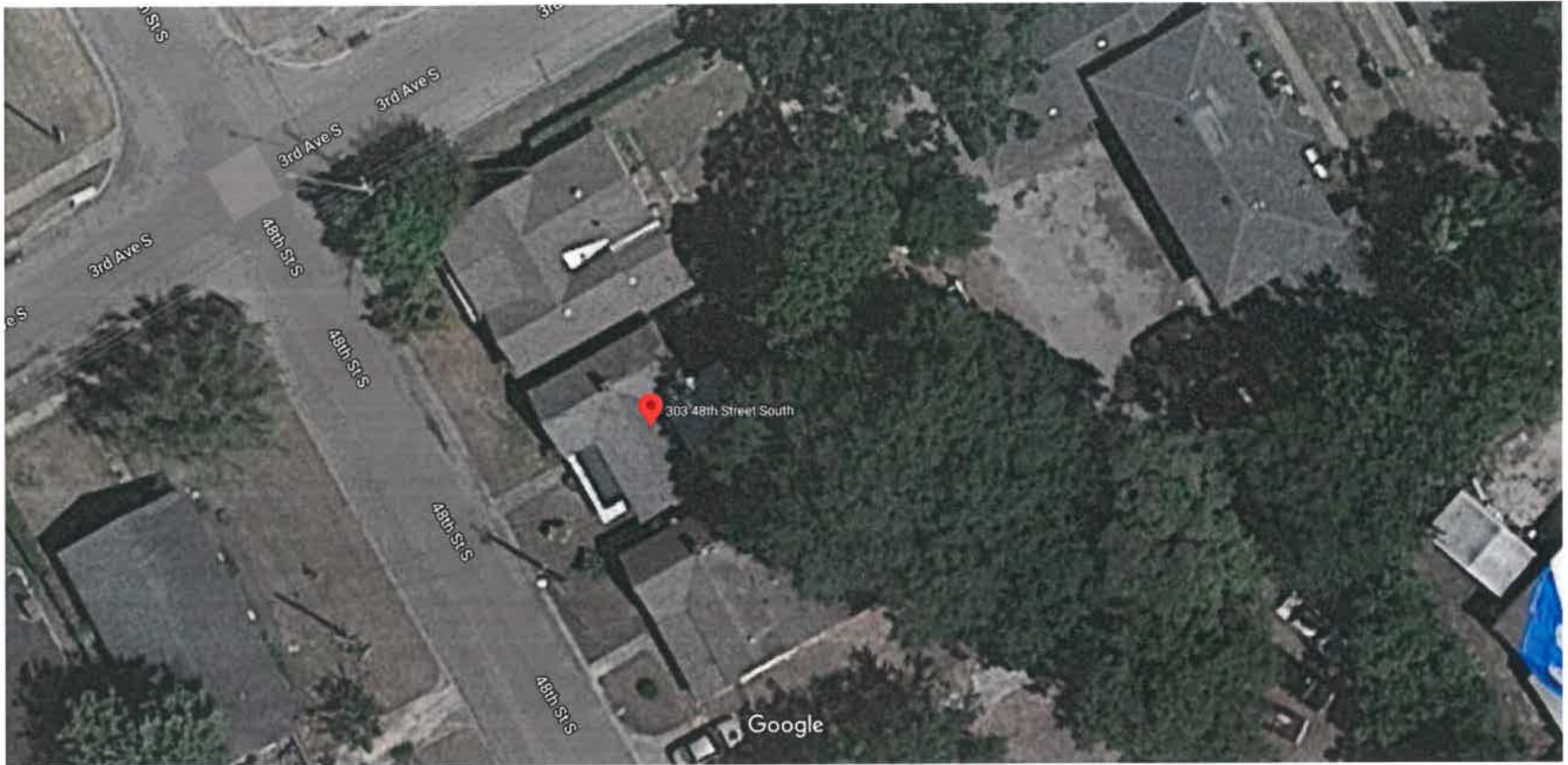
LOT: 8&9

- Section:** 28-17-2W
- Land Slide Zones:** Not in Land Slide Zones
- Historic Districts:** Not in Historic Districts
- Commercial Revitalization District:** Not in Commercial Revitalization District
- Fire District:** Not in Fire District
- Flood Zones:** Not in Flood Zones
- Tax Increment Financing District:** Not in Tax Increment Financing District
- Neighborhoods:** East Avondale (2101)
- Communities:** Woodlawn (21)
- Council Districts:** District - 5 (Councilor: Darrell O'Quinn)
- Zoning Outline:** R3
- Demolition Quadrants:** DEM Quadrant - 3
- Impaired Watersheds:** Impaired Watershed - Upper Village Creek
- Strategic Opportunity Area:** Not in Strategic Opportunity Area
- RISE Focus Area:** Not in RISE Focus Area
- Tax Delinquent Property:** Not in Tax Delinquent Property
- EPA Superfund:** Not in EPA Superfund
- Opportunity Zones:** In Opportunity Zones
- Judicial Boundaries:** JEFFERSON

Parcel mapping and description information is obtained from the Jefferson County Tax Assessor's Office. This site does not provide real-time information and may contain errors. All data should be verified with the official source. The City of Birmingham makes no warranty as to the accuracy of the data and assumes no responsibility for any errors. Data from the Tax Assessor's Office may not be available for all parcels.

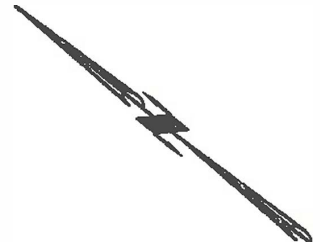


303 48th St S
ZBA2020-00035

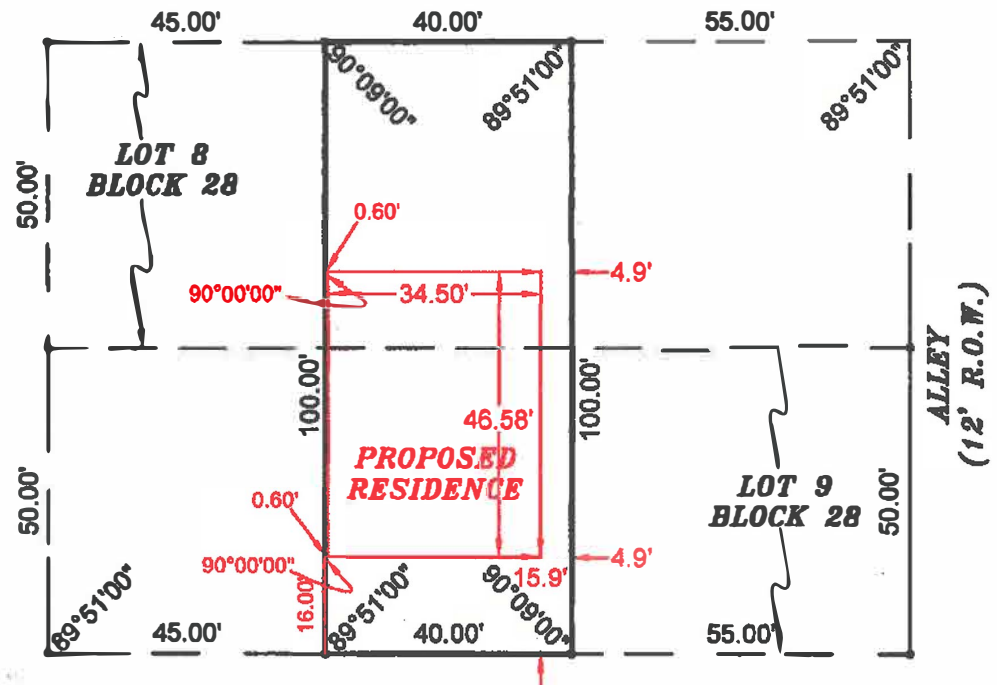


LEGEND

ASP	ASPHALT
BLDG	BUILDING
CALC	CALCULATED
MEAS	MEASURED
CH	CHORD
LNG	LONG CHORD
Δ	DEFLECTION
Δ	DELTA
ESMT	EASEMENT
HW	HEADWALL
MIN	MINIMUM
MH	MANHOLE
OH	OVERHANG
POR	PORCH
R	RADIUS
R.O.W.	RIGHT OF WAY
SAN	SANITARY
STM	STORM
UTL	UTILITY
AC	ACRES
S.F.	SQUARE FEET
CL	CENTERLINE
A/C	AIR CONDITIONER
•	POLE
—	ANCHOR
-X-	FENCE
—	OVERHEAD UTILITY WIRE
PVMT	PAVEMENT
W/TAN	WITH TANGENT
RES	RESIDENCE
dLGT	LIGHT COVERED
■	DECK
○	CONCRETE WALL
□	COLUMN



3RD AVENUE SOUTH
(50' R.O.W.)



48TH STREET SOUTH
(50' R.O.W.)

STATE OF ALABAMA)
JEFFERSON COUNTY)

"PLOT PLAN"

I, Ray Weygand, a Registered Land Surveyor, hereby certify to the purchaser of this property at this time, that I have surveyed THE SOUTHERLY 40 FEET OF THE NORTHERLY 85 FEET OF LOTS 8 AND 9, of BLOCK 28, MAP AND SURVEY OF EAST AVONDALE, as recorded in Map Volume 1, Pages 106 & 107, in the Office of the Judge of Probate, Jefferson County, Alabama. I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief, according to my survey of JULY 8, 2020. Survey invalid if not sealed in red.

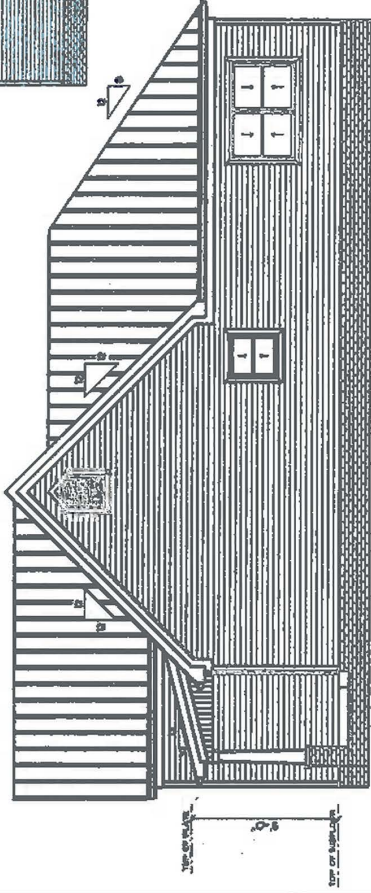
Order No.: 20201485
Purchaser: STEVENS
Address: 303 48TH STREET SOUTH

Ray Weygand
Ray Weygand, Reg. L.S. #24973
189 Oxmoor Road, Homewood, AL 35209
Phone: (205) 942-0086 Fax: (205) 942-0087
Copyright ©

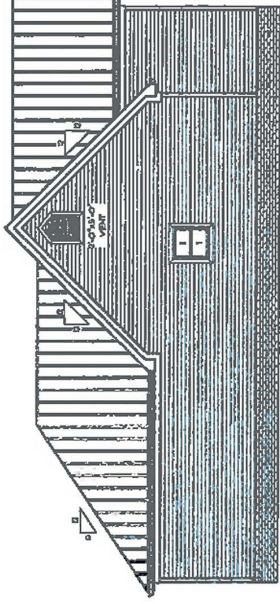


Note: (a) No title search of the public records has been performed by this firm and land shown hereon was not abstracted for easements and/or rights-of-way, recorded or unrecorded. The parcel shown hereon is subject to setbacks, easements, zoning, and restrictions that may be found in the public records of said county and/or city. (b) All bearings and/or angles, are deed/record map and actual unless otherwise noted. (c) Underground portions of foundations, footings, and/or other underground structures, utilities, cemeteries or burial sites were not located unless otherwise noted. (d) The shown north arrow is based on deed/record map. (e) This survey is not transferable. (f) Easements not shown on recorded map are not shown above.

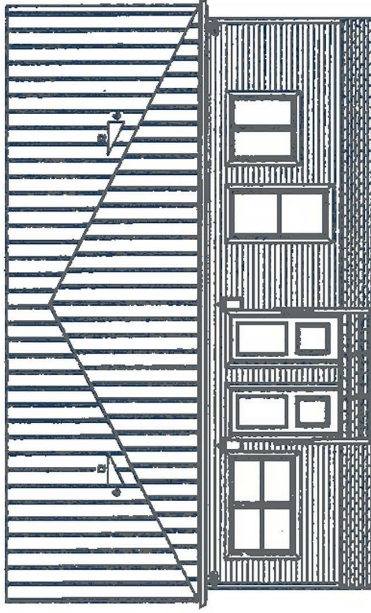
RIGHT ELEVATION



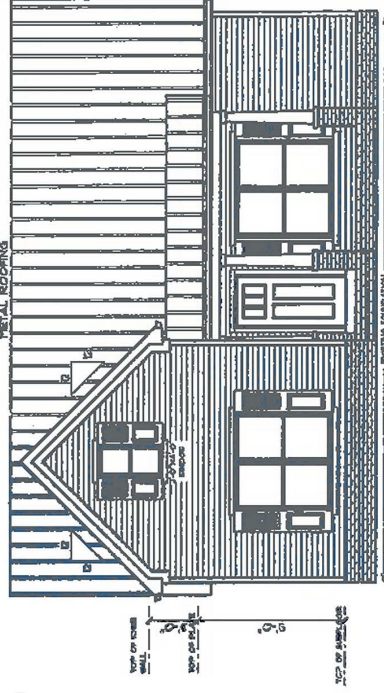
LEFT ELEVATION



REAR ELEVATION



PRELIMINARY FRONT ELEVATION



Resident: Debbie
303 48th St S
Birmingham, AL 35222

645 GUSTON HOME DESIGN, LLC
3609-645-2008 PH:360-29-7130
DESIGN@GUSTONHOMEDSIGN.COM

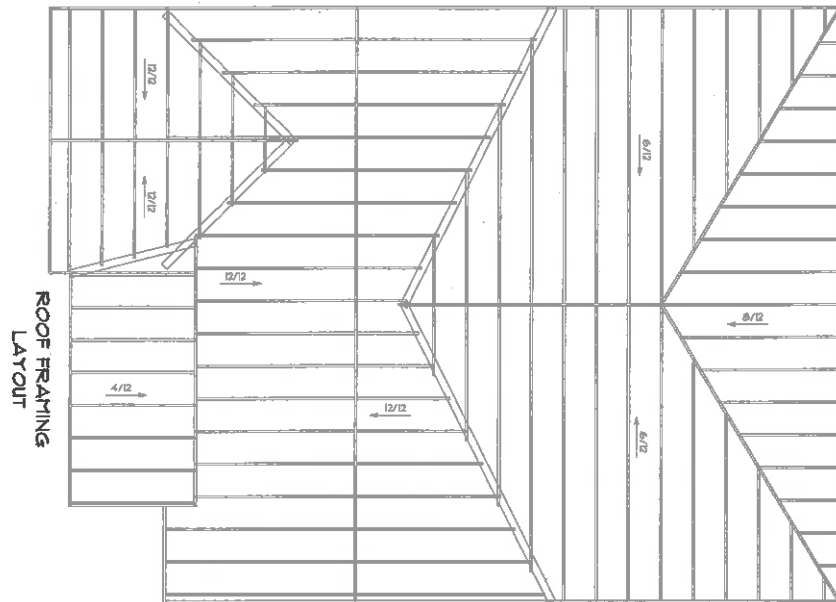
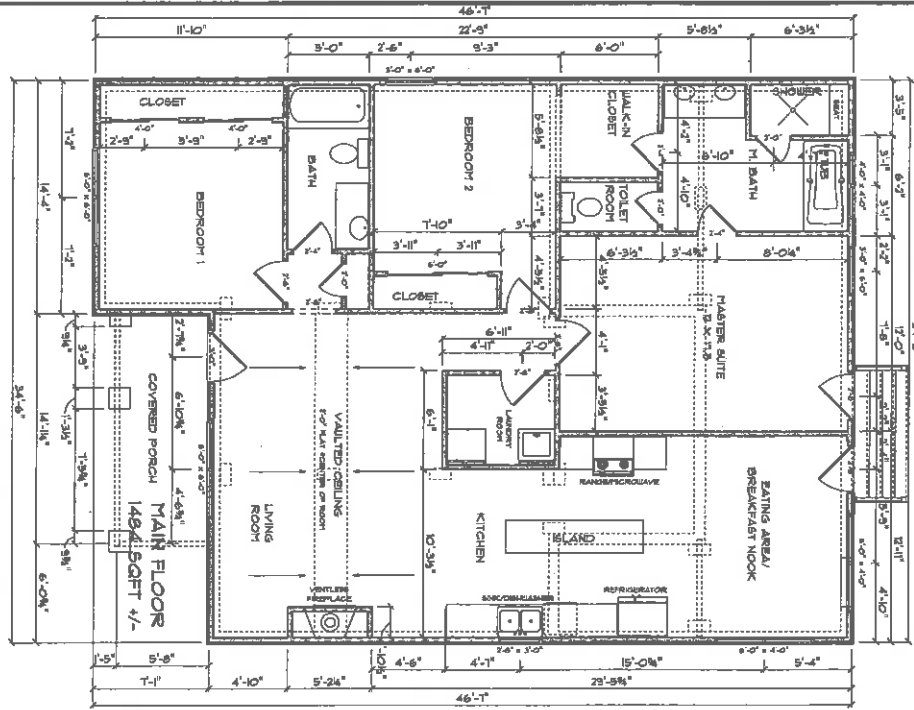


645 GUSTON HOME DESIGN, LLC
3609-645-2008 PH:360-29-7130
DESIGN@GUSTONHOMEDSIGN.COM

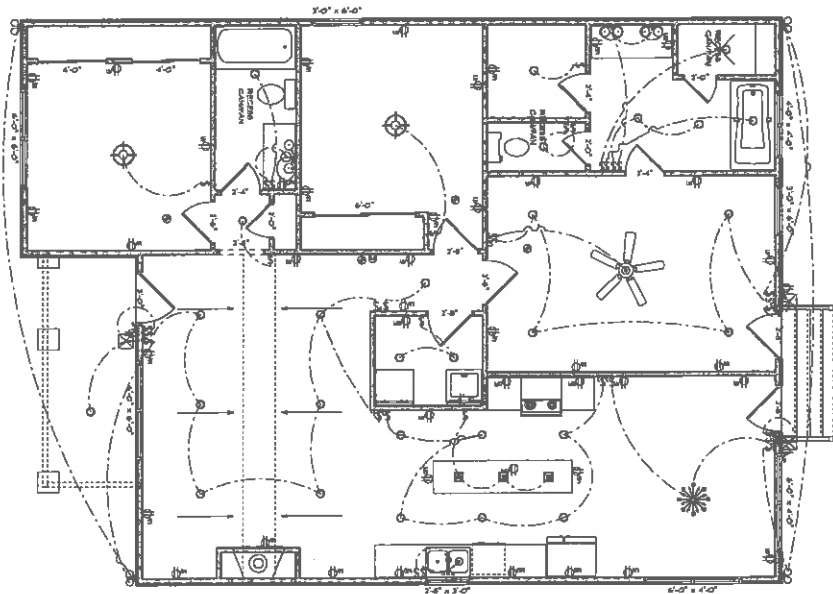
ALL CONTRACTORS LISTED IN THE COMPANION OF THIS HOME MUST BE LICENSED WITH THE STATE AND OBTAINING TO PERFORM THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OBTAINING ALL NECESSARY INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OBTAINING ALL NECESSARY INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OBTAINING ALL NECESSARY INSURANCE.

SCALE: 1/4" = 1'-0"
DRAWN BY: Jack
07/02/2020

PAGE 1



ELECTRICAL LAYOUT



ELECTRICAL SYMBOLS		SYMBOL
1	170 Ampere 2 Pole Breaker	
2	20 Amp 1 Pole Breaker	
3	20 Amp 2 Pole Breaker	
4	20 Amp 1 Pole Breaker	
5	20 Amp 2 Pole Breaker	
6	20 Amp 1 Pole Breaker	
7	20 Amp 2 Pole Breaker	
8	20 Amp 1 Pole Breaker	
9	20 Amp 2 Pole Breaker	
10	20 Amp 1 Pole Breaker	
11	20 Amp 2 Pole Breaker	
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13	20 Amp 2 Pole Breaker	
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96	20 Amp 1 Pole Breaker	
97	20 Amp 2 Pole Breaker	
98	20 Amp 1 Pole Breaker	
99	20 Amp 2 Pole Breaker	
100	20 Amp 1 Pole Breaker	

CUSTOMER INFORMATION
 Randall Daubins
 309 49th St S
 Birmingham, AL 35222

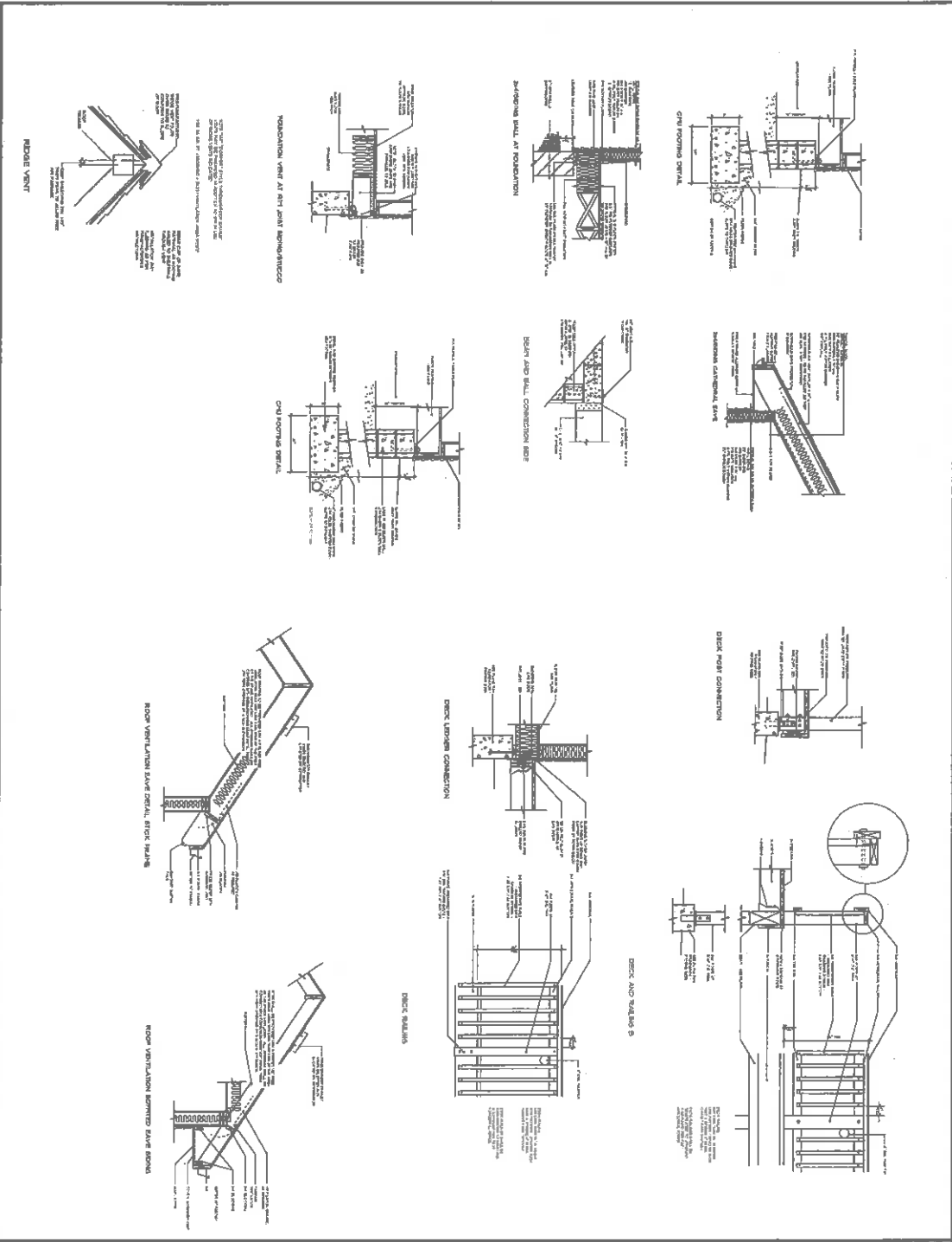
S&S CUSTOM HOME DESIGNS, INC.
 33134 SOUTHHEARTH BIRMINGHAM, AL 35243
 PH: 205-365-3388 FX: 205-379-1500
 DESIGN@OUT-HEARTH-CUSTOM.COM



ALL CONTRACTORS USED IN THE CONSTRUCTION OF THIS HOME MUST BE LICENSED WITH THE STATE AND QUALIFIED TO PERFORM THE WORK. S&S CUSTOM HOME DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY DEFICIENCIES IN THE PLAN. AS MATERIALS, GRADES AND CODES VARY, S&S CUSTOM HOME DESIGNS, INC. IS NOT HELD LIABLE FOR ANY DEFICIENCIES IN THE CONSTRUCTION OR MATERIALS USED ON THIS PROJECT. S&S CUSTOM HOME DESIGNS, INC. HAS NO KNOWLEDGE OF THE CONTRACTORS OR SUBCONTRACTORS USED ON THIS PROJECT. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

SCALE: 1/4" = 1'-0"
 DRAWN BY: Jack
 07/02/2020

PAGE:
4



CUSTOMER INFORMATION:
 Randall Dawkins
 303 48th St S
 Birmingham, AL 35222

846 CUSTOM HOME DESIGNS, INC.
 846CUSTOMHOMEDSIGN@GMAIL.COM
 PH 205-366-3268 FH-205-274-1300
 DESIGN@CULTEASTERHOMES.COM



ALL CONTRACTORS USED IN THE CONSTRUCTION OF THIS HOME MUST BE LICENSED WITH THE STATE AND QUALIFIED TO PERFORM THE WORK. S&S CUSTOM HOME DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY ERRORS IN THIS PLAN AS MATERIALS, CODES AND CODE ADHERENCE CANNOT BE VERIFIED. S&S-CUSTOM-HOME-DESIGNS, INC. HAS NO KNOWLEDGE OF THE CONTRACTORS OR SUBCONTRACTORS USED ON THIS PROJECT. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

SCALE: 1/4" = 1'-0"
 DRAWN BY: Jack
 07/02/2020

PAGE:
DS

Meeting – August 13, 2020
Location - City Council Chambers, Third Floor, City Hall
Time - 2:00PM
Pre-Meeting - 1:00PM
Department of Planning Engineering & Permits Conference Room, Fifth Floor

Neighborhood: South Side Staff Planner Moton ZBA2020-00036

Request: Parking Modification
Applicant: Amanda Loper
Owner: Metropolitan 2323
Site Address: 2323 2nd Ave S
Zip Code: 35205
Description: Modification to allow 4 off street parking spaces, 1 on-street parking instead of the required 12 off street parking spaces pursuant to Title I, Chapter 9, Article VI, Section 6.A.3
Property Zoned: M-1 Light Manufacturing District
Parcel Information: Parcel #:012200361016002000, NE of Section 36, Township 17 S, Range 3 W

Special Exception:

Modification to allow 4 off street parking spaces, 1 on-street parking instead of the required 12 off street parking spaces.

Neighborhood Meeting:

The South Side Neighborhood Association due to Covid-19 Southside NA will not have a meeting and will trust the Board to make the best decision.

Public Notices:

Public notices were mailed on July 29, 2020.

Applicant's Justification:

Staff Analysis:

The parcel is located at 2323 2nd Ave S and the building itself resides within the M-1, Light Manufacturing. The applicant is purposing 3 one bedroom units and 8 two bedroom units totaling 11 units in all. According to Title 1 Chapter 5 Section 4.O, it requires 1 parking spaces per one-bedroom unit and 1.5 parking spaces for two or more-bedroom unit, totaling 15 required parking spaces. However, with the 10% deduction for a nearby transit and deductions for bike racks leaves them with 12 required parking spaces. The applicant has provided us with an 1/4-mile radius of on-street parking that provides in view 114 street parking spaces and a parking study that shows surplus parking at various times throughout the day. There is other parking modifications within ¼ mile radius such, **ZBA2005-00003**, 2230 2nd Ave S(Office), modification to allow 35 of the required 64 off-street parking spaces, **ZBA2017-00023**, 300 24th St S (Lounge), modification to allow 0 instead of the required 64 parking spaces and **ZBA2006-00040**, 2318 2nd Ave S (Architect Studio) modification to allow 5 of the required 13 off street parking spaces.

Staff Recommendation

Staff believes the applicant has provided sufficient evidence to support the modification request. Therefore, staff believes the request has merit for approval and as such, should be **GRANTED** subject to the following conditions:

1. Review by the appropriate zoning inspector to insure compliance with the Board's decision.

2. All permits and certificate of completion should obtain within three years of approval from the Board.

PARCEL ID: 012200361016002000

SOURCE: TAX ASSESSOR RECORDS **TAX YEAR:** 2019

DATE: Tuesday, July 28, 2020 11:56:55 AM

OWNER: B & K LLC

ADDRESS: 2327 5TH AVE S

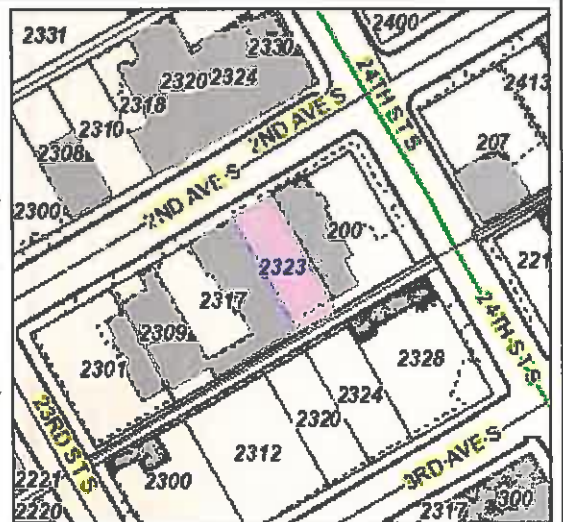
CITY/STATE: BIRMINGHAM AL

ZIP+4: 35233--3203

SITE ADDR: 2323 2ND AVE S

CITY/STATE: BHAM, AL

ZIP: 35203



LAND: \$126,000.00

BLDG: \$4,100.00

OTHER: \$0.00

AREA: 7,447.32

ACRES: 0.17

SUBDIVISION INFORMATION:

NAME BIRMINGHAM BLOCKS

BLOCK: 139

LOT: 4

:

Section: 36-17-3W

Land Slide Zones: Not in Land Slide Zones

Historic Districts: Not in Historic Districts

Commercial Revitalization District: Not in Commercial Revitalization District

Fire District: In Fire District

Flood Zones: Not in Flood Zones

Tax Increment Financing District: In Tax Increment Financing District

Neighborhoods: Southside (1703)

Communities: Southside (17)

Council Districts: District - 5 (Councilor: Darrell O'Quinn)

Zoning Outline: M1

Demolition Quadrants: DEM Quadrant - 3

Impaired Watersheds: Not in Impaired Watersheds

Strategic Opportunity Area: Not in Strategic Opportunity Area

RISE Focus Area: In RISE Focus Area

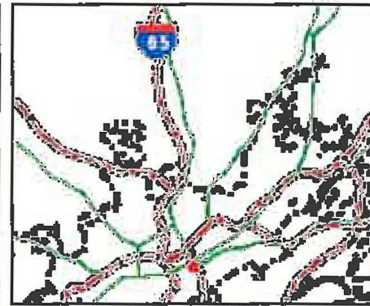
Tax Delinquent Property: Not in Tax Delinquent Property

EPA Superfund: Not in EPA Superfund

Opportunity Zones: In Opportunity Zones

Judicial Boundaries: JEFFERSON

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Legend

- Centerline Labels
- + Railroad
- Alleys
- Local Roads
- Arterials
- County Highways
- State Highways
- US Highways
- Interstates
 - Limited Access
 - Ramp
- Buildings
- Hydrology Lines
- Hydrology Areas
- Parcels
- City Parks
- Airport
- Adopted LandUse Plan
 - Residential-Low
 - Residential-Medium
 - Residential-High
 - Neighborhood Commercial
 - General Commercial
 - MXU-Low
 - MXU-Medium
 - MXU-High

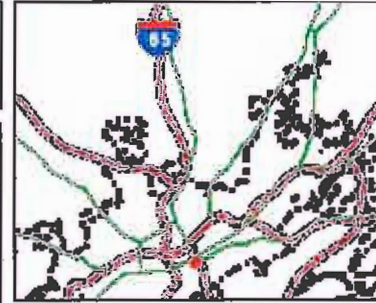


1: 1,170



195.0 0 97.50 195.0 Feet

Notes

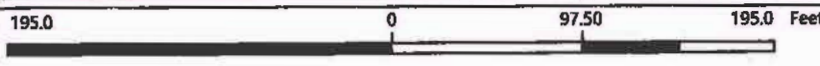


Legend

- Centerline Labels
- + Railroad
- Alleys
- Local Roads
- Arterials
- County Highways
- State Highways
- US Highways
- Interstates
 - Limited Access
 - Ramp
- Buildings
- Hydrology Lines
- Hydrology Areas
- Parcels
- City Parks
- Airport
- Zoning Shaded
 - R1; D1 - Single Family District - Cla
 - R2; D2 - Single Family District - Cla
 - R3; D3 - Single Family District; R3
 - R4; D4 - Two Family District; R4
 - R4A - Multiple Dwelling District
 - R5; D5 - Multiple Family District; D5
 - R6; D6 - Multiple Family District
 - R7 - Multiple Family District



1:1,170



The City of Birmingham makes no warranty, expressed or implied, as to the accuracy of the information represented herein. This map is a user generated static output from an internet mapping site and is for general reference only.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

ON-SITE PARKING

ZONING DISTRICT: M-1

Can include any R-7 use, but not R-7 Parking Req's

PARKING REQUIREMENTS FOR M-1:

1.5 spaces / DU for Two-Bedroom units

1 space / DU for One-Bedroom units

Level 1 = (3) One-Bedroom units

Level 2 = (4) Two-Bedroom units

Level 3 = (4) Two-Bedroom units

Total requirement = **15 spaces**

Bicycle reduction = **10%**

Transit reduction = **10%**

Total after reduction = $15 - (20\% \times 15) =$ **12 spaces**

Provided on-site parking spaces = **4 spaces**

Net deficiency = **8 spaces**

STREET PARKING

Added street parking = **1 space**

Available weekday parking* = **~90 spaces**

Available weekend parking* = **~122 spaces**

*Average measurement taken at 10:00am,
3:00pm, 6:00pm within 1/8 mile radius

**EXISTING SITE
CONDITIONS**



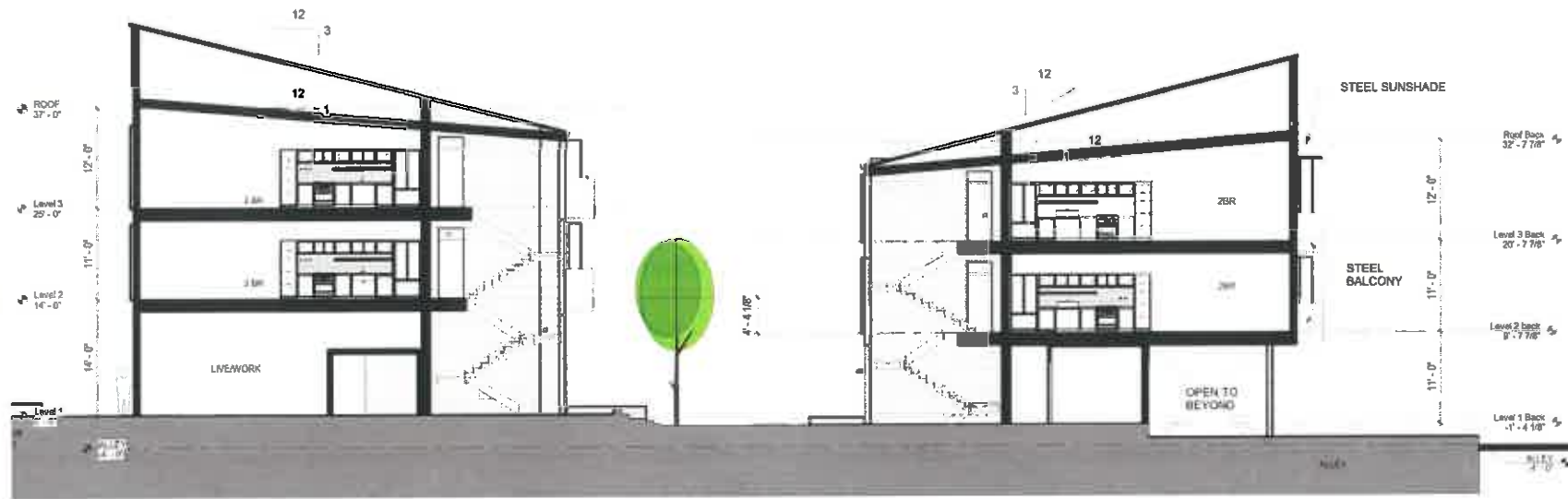
**PROPOSED 2ND
AVE FACADE**



COURTYARD



SECTION



2ND AVE S

ALLEY

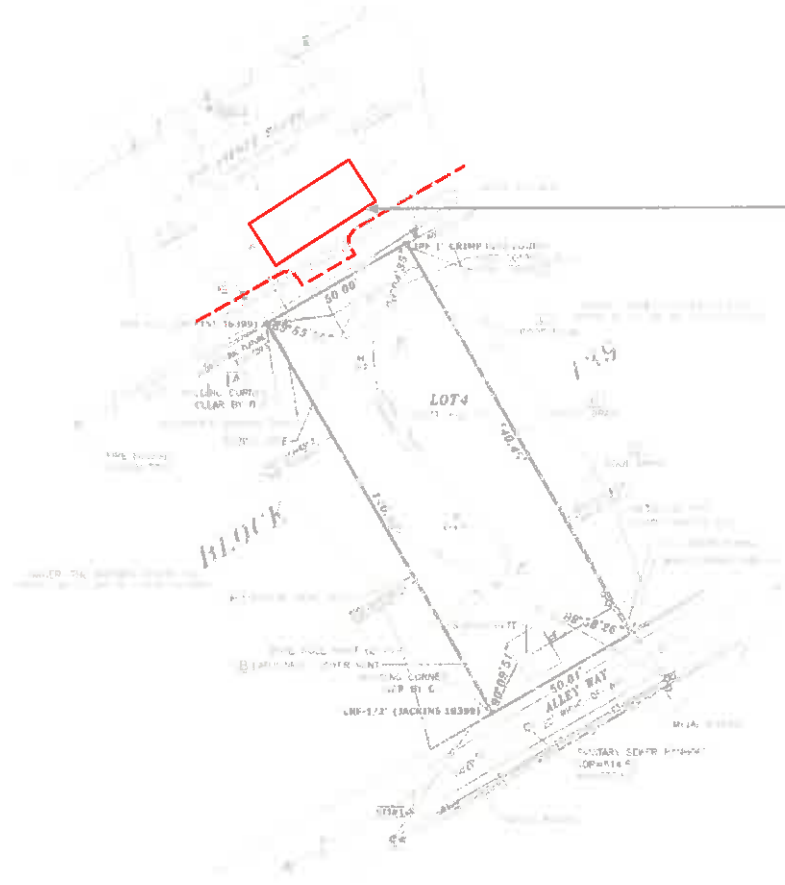


- PARKING GARAGE
- STREET WITH PARKING
- BUS STOP
- PROJECT SITE
- XX PARKING SPACES PER STREET

1,934 STREET PARKING SPACES ARE WITHIN A 10 MINUTE WALKING RADIUS

Tenants will be able to quickly access very close parking to the project

3 BUS STOPS ARE LOCATED WITHIN A 1,000 FOOT RADIUS

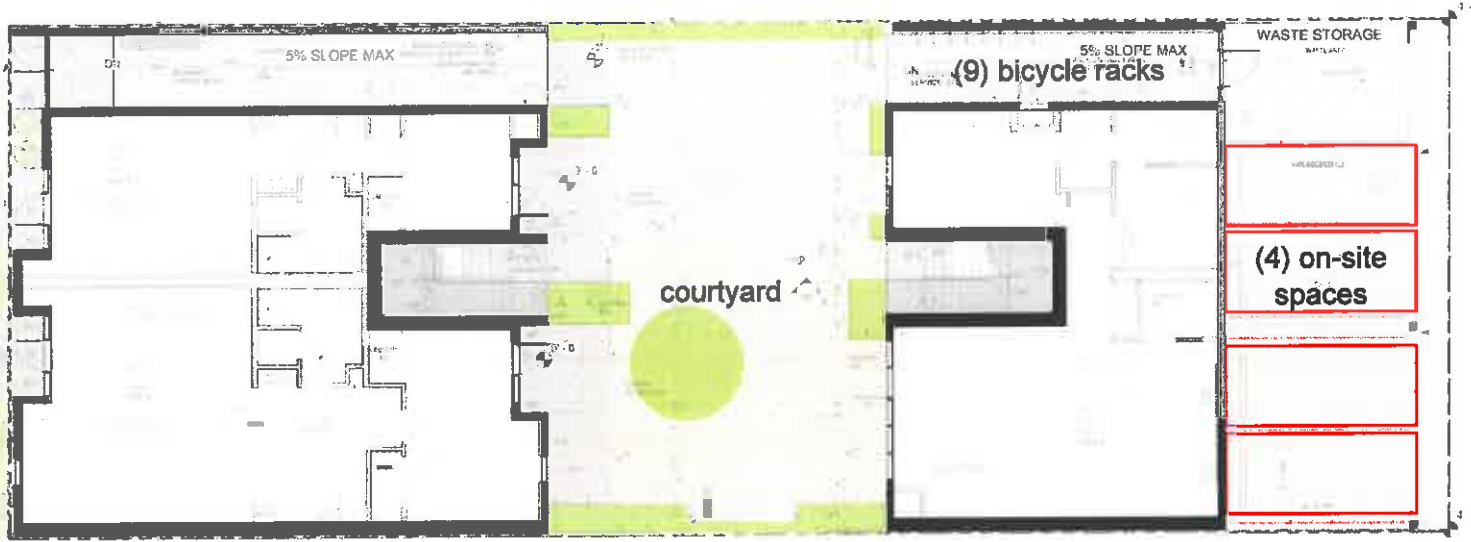


(1) added public parallel parking space in place of existing curb cut

2nd Ave S

(1) added street space

Demo curb cut



BUILDING ABOVE

BOLLARD TYP

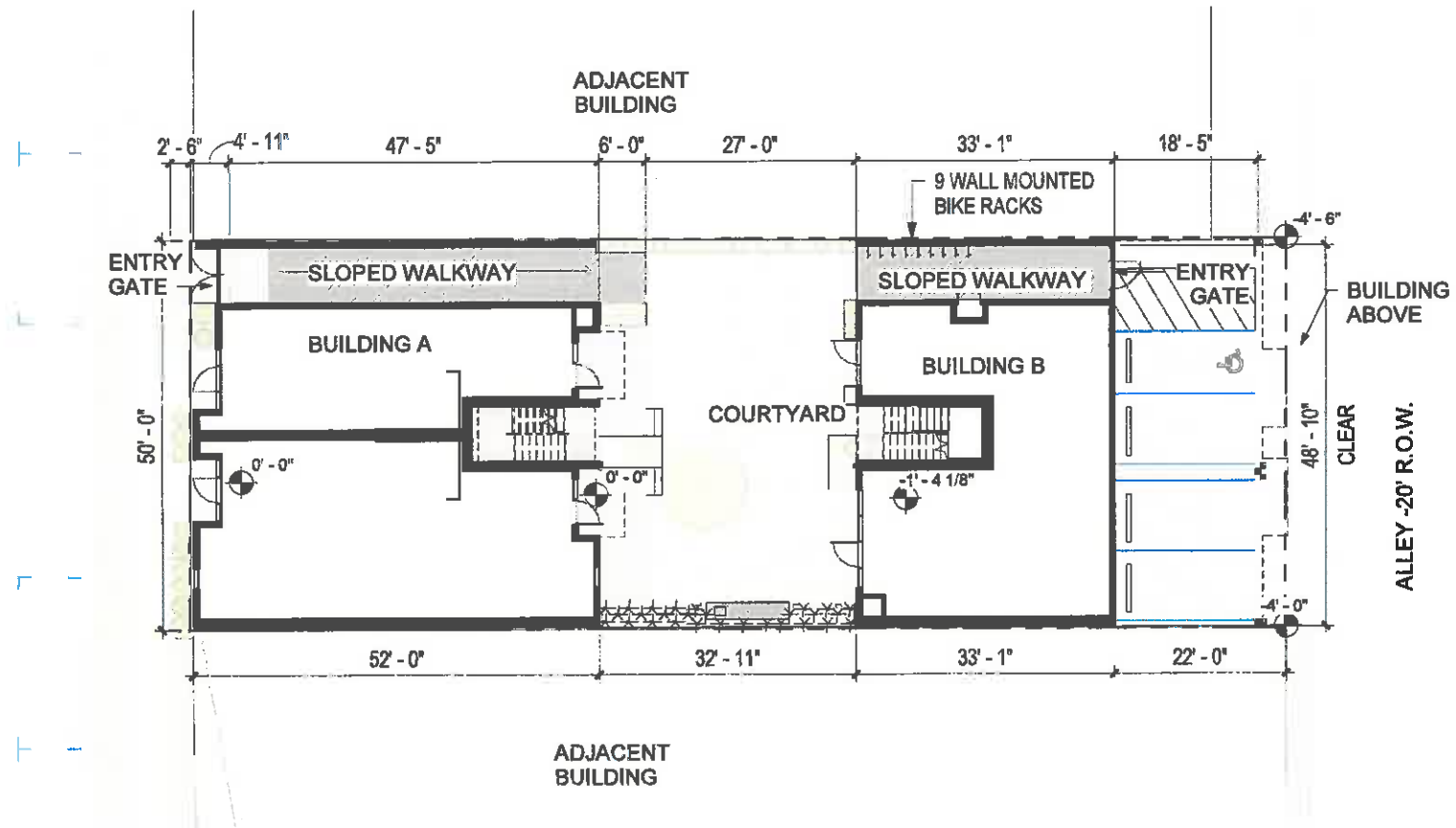
ALLEY-20' R.O.W

Alley

LEVEL 01



2ND AVE SOUTH



BIKE RACKS ARE WALL MOUNTED AND ARE COVERED BY THE BUILDING ABOVE. BIKE RACKS ARE DERO ULTRA SPACE SAVER AND HAVE 2 POINTS OF CONTACT TO THE BIKE FRAME. THE SLOPED WALKWAY IS WELL LIT BY LIGHTS IN THE CEILING ON A PHOTOCCELL.



BIKE RACKS ARE DERO ULTRA SPACE SAVER





BUILDING ABOVE

BOLLARD TYP.

ALLEY-20' R.O.W

LEVEL 02-03

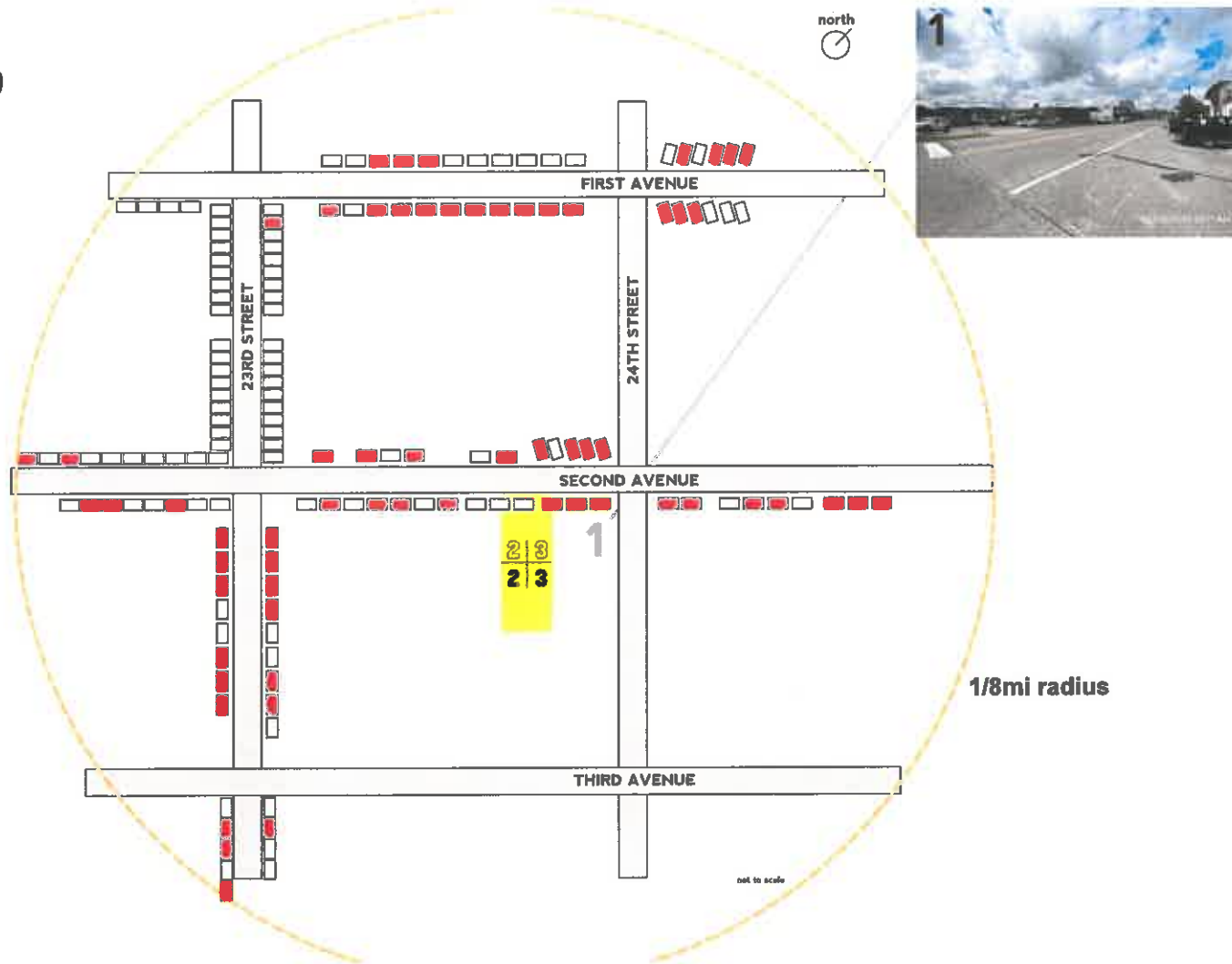


PARKING STUDY

Thursday, July 9th, 2020

10:00am

Total spaces = **152**
Full = **86**
Empty = **66**
% occupied = **57%**

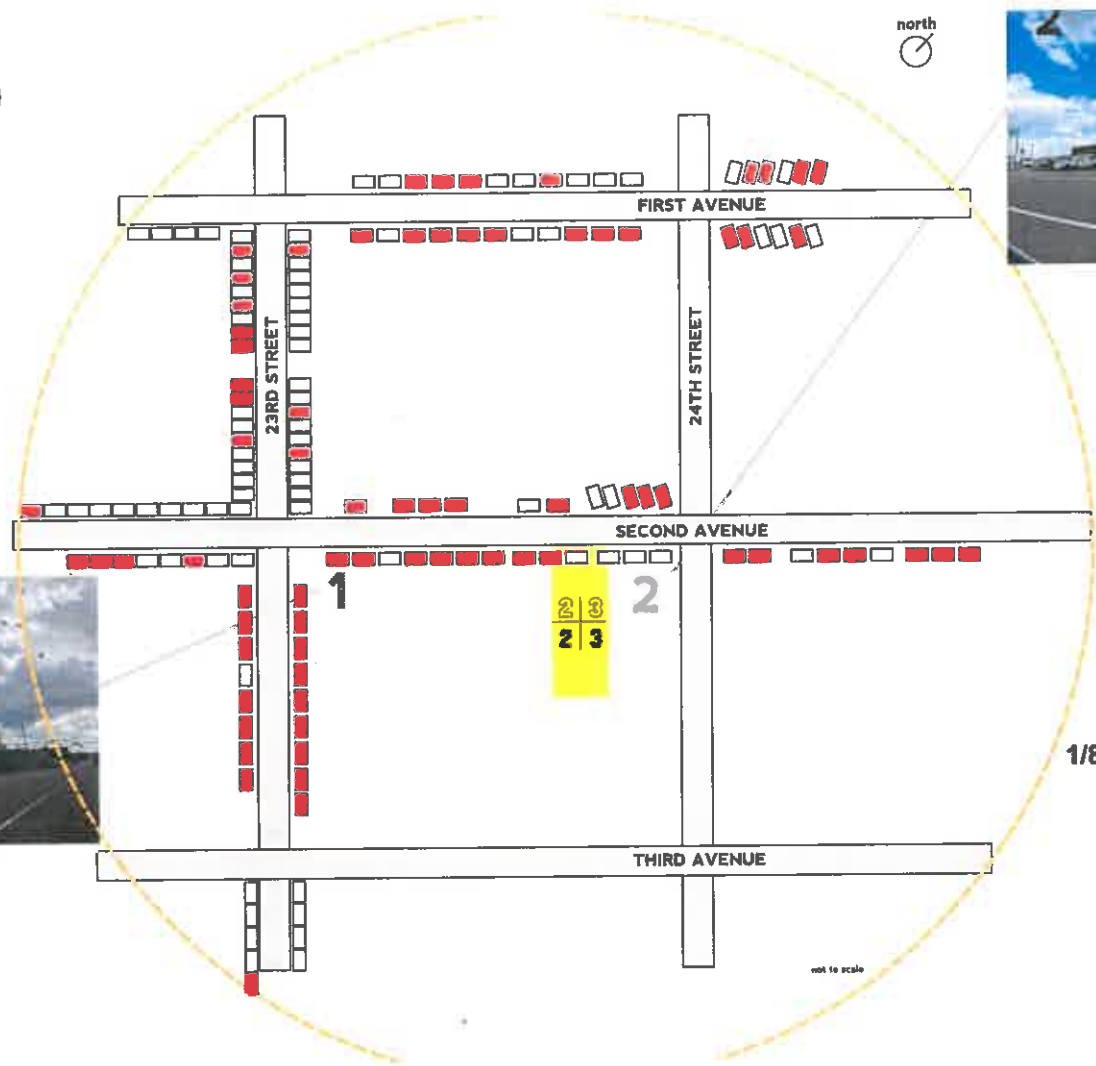




PARKING STUDY

Thursday, July 9th, 2020
3:00pm

Total spaces = 152
Full = 77
Empty = 75
% occupied = 51%



1/8mi radius

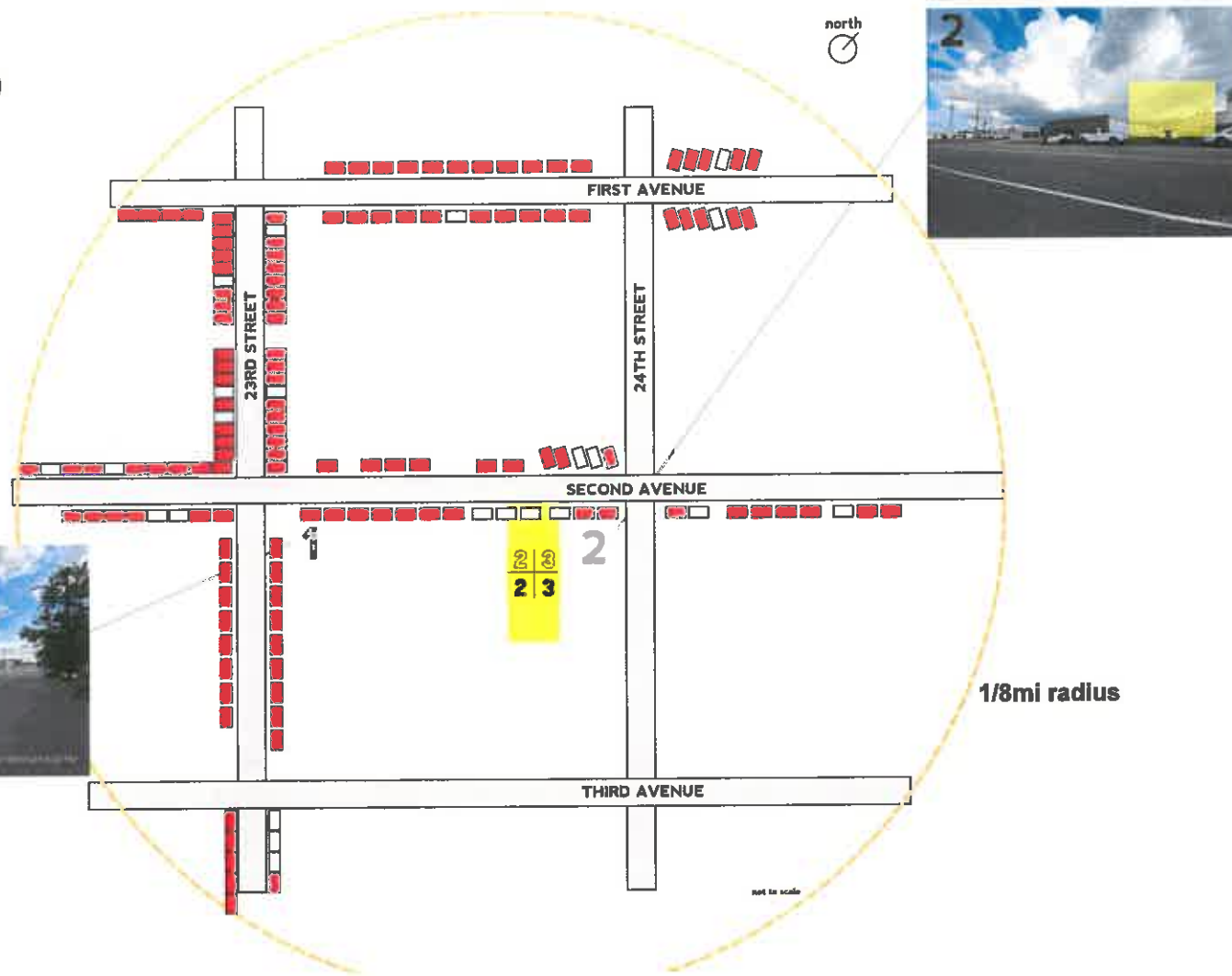
not to scale



PARKING STUDY

Thursday, July 9th, 2020
6:00pm

Total spaces = 152
Full = 23
Empty = 129
% occupied = 15%



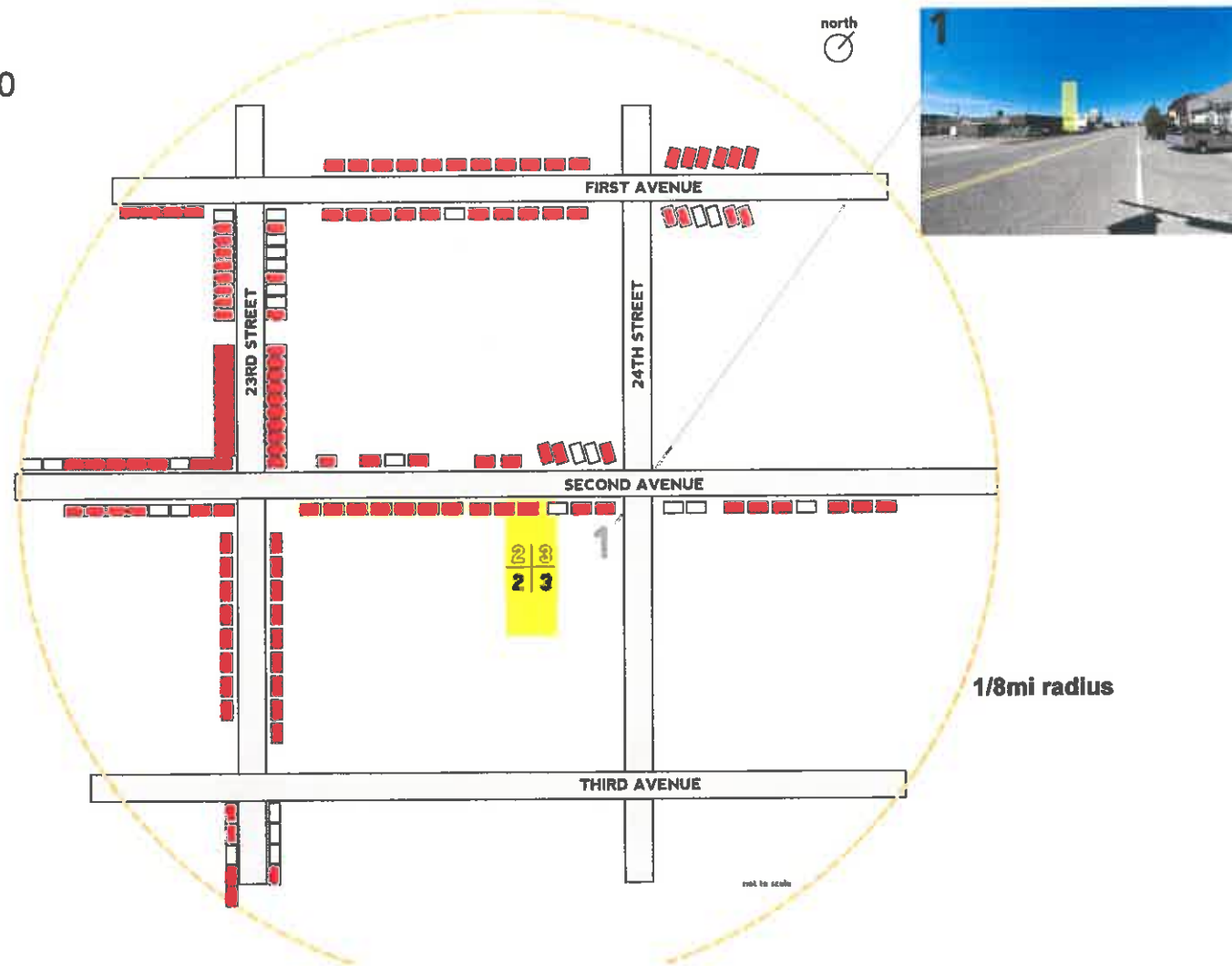


PARKING STUDY

Saturday, July 11th, 2020

10:00am

Total spaces	= 152
Full	= 26
Empty	= 126
<u>% occupied</u>	= <u>17%</u>

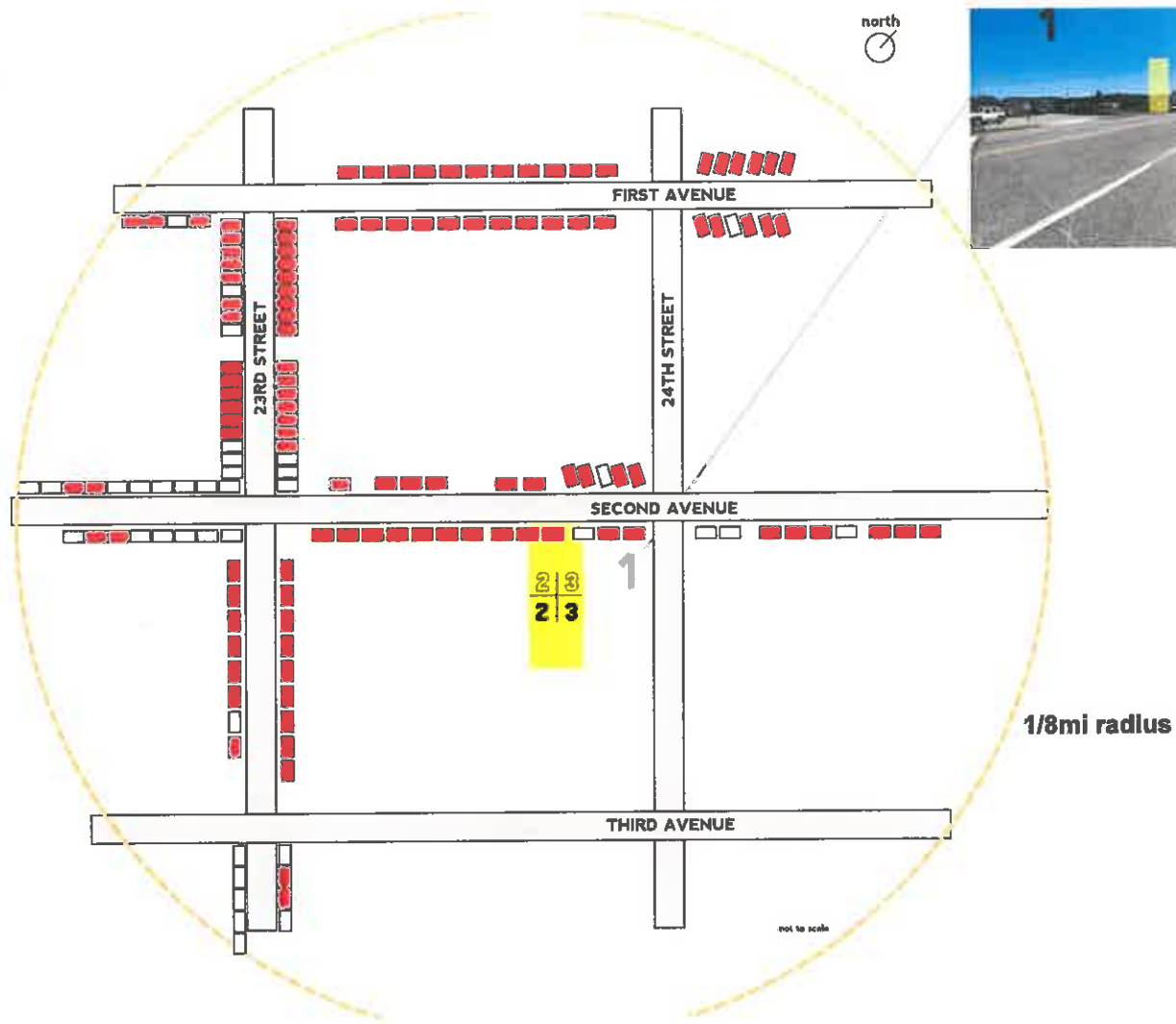




PARKING STUDY

Saturday, July 11th, 2020
3:00pm

Total spaces = 152
Full = 35
Empty = 117
% occupied = 23%

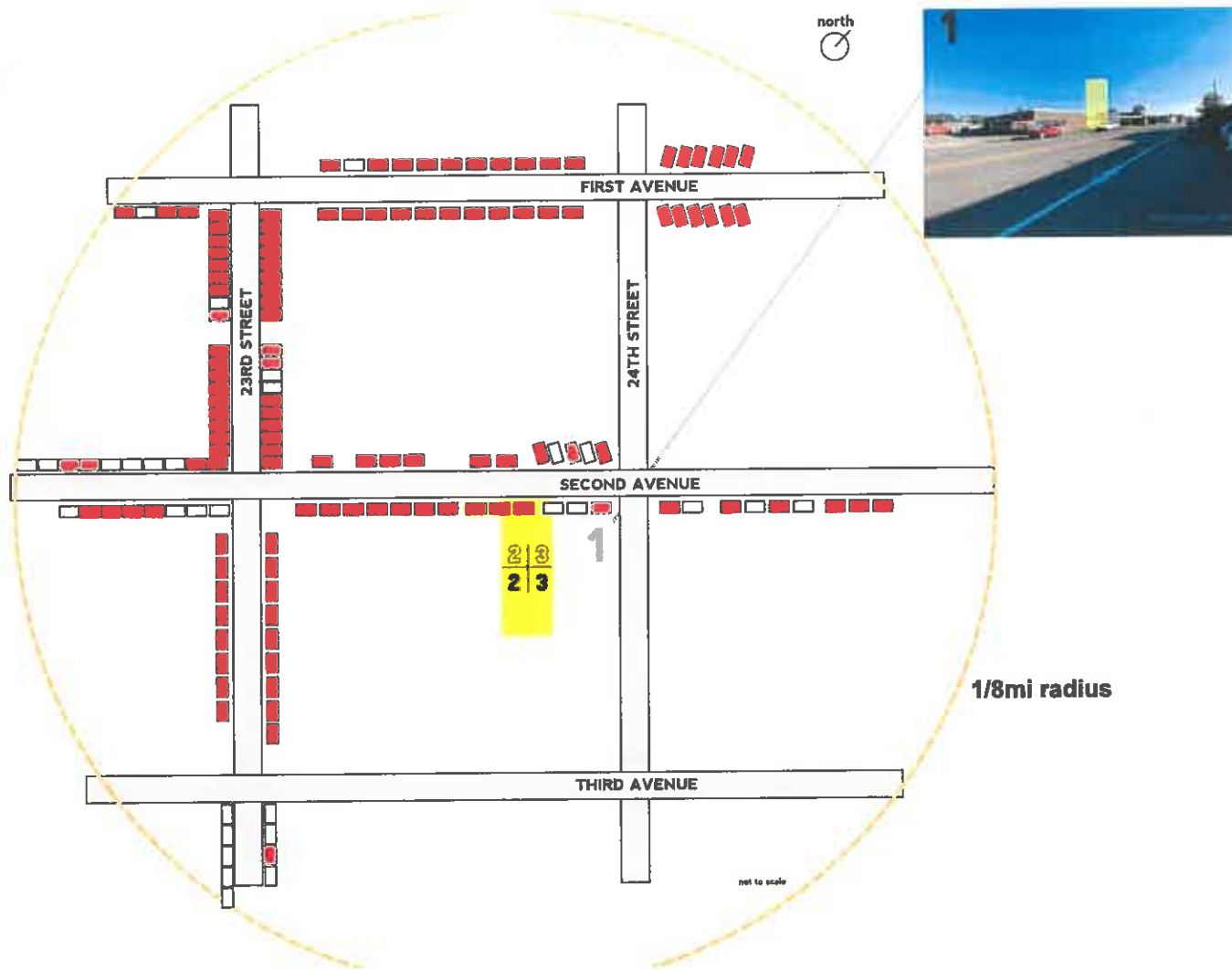




PARKING STUDY

Saturday, July 11th, 2020
6:00pm

Total spaces = 152
Full = 30
Empty = 122
% occupied = 20%





2323 2ND AVE SOUTH



David Baker Architects
 dbarchitect.com
 4000 3rd ave s, suite 100
 Birmingham AL, 35222
 205.623.0177

License Stamp

Instances	
Description	Date
SD Set	09/09/2019
DD Set	11/15/2019
Bld Set	01/31/2020

Revisions		
Rev.	Description	Date
1	Post-Bld Revision	XX-XX-XXX X



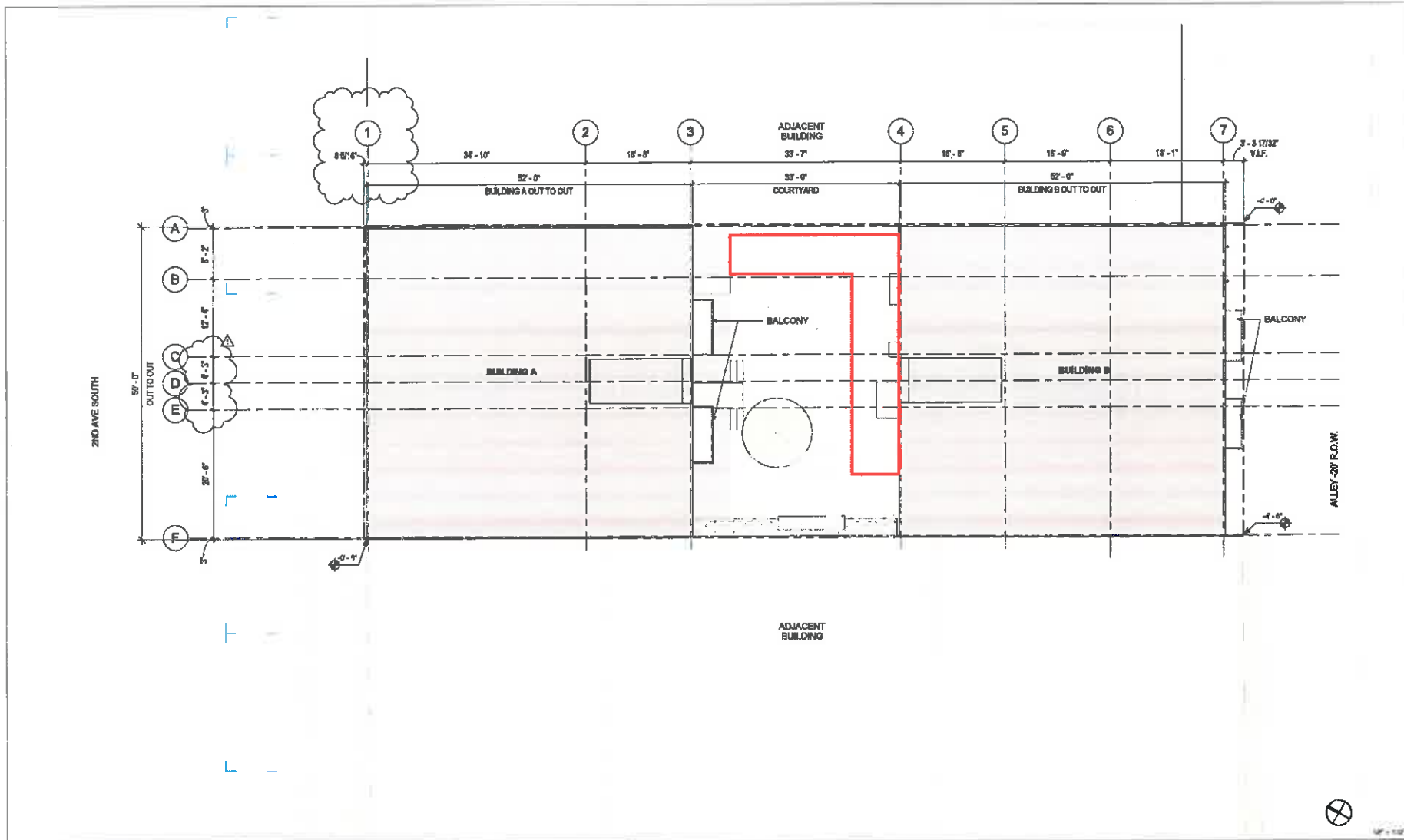
LEVEL 1 1

Set Title
FOR CONSTRUCTION SET

Drawing Title
LEVEL 1 SITE PLAN

Sheet No.
A100

Date 3/11/2020
 Project No. 21805



2323 2ND AVE SOUTH

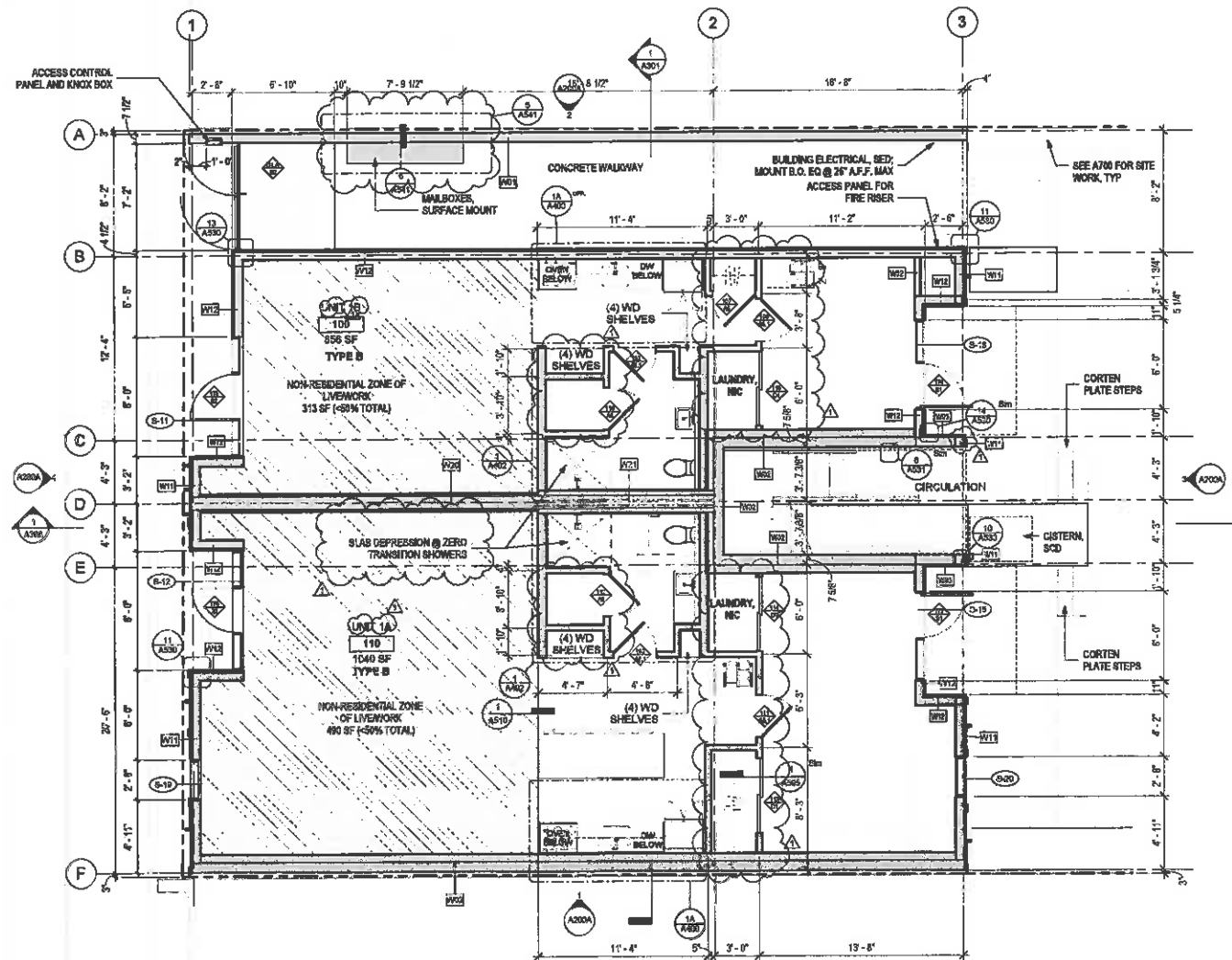


David Baker Architects
dbarchitect.com
4000 3rd ave s, suite 100
Birmingham AL, 35222
205.623.0177

License Stamp

ISSUANCES	
Description	Date
SD Set	08/09/2019
DD Set	11/19/2019
Bld Set	01/31/2020

REVISIONS		
Rev.	Description	Date
1	Post-Bld Revision	XX-XX-XXXX X



LEVEL 1 FRONT BUILDING 1

FLOOR PLAN GENERAL NOTES

1. A CLEAR PASSAGE OF 36" WIDTH MUST BE PROVIDED THROUGHOUT ALL TYPE B UNITS. NO OBSTRUCTIONS SHALL REDUCE THE WIDTH OF THE PASSAGE.
2. FOR TYPE B ACCESSIBILITY REQUIREMENTS SEE SHEET G610.
3. WALLS RATED AS INDICATED, ON CODE SHEETS FOR WALL ASSEMBLIES SEE SHEET AS00.
4. FURNITURE I.L.C. SHOWN FOR DESIGN COORDINATION ONLY. UNLESS OTHERWISE INDICATED, INTERIOR DOORS SHOULD BE OFFSET 4" FROM ABUTTING STUD WALLS.

Keynote Legend



KEY PLAN - A

Set Title
FOR CONSTRUCTION SET

Drawing Title
FLOOR PLAN LEVEL 1A

Sheet No.
A101A

Date 3/11/2020
Project No. 21905

2323 2ND AVE SOUTH

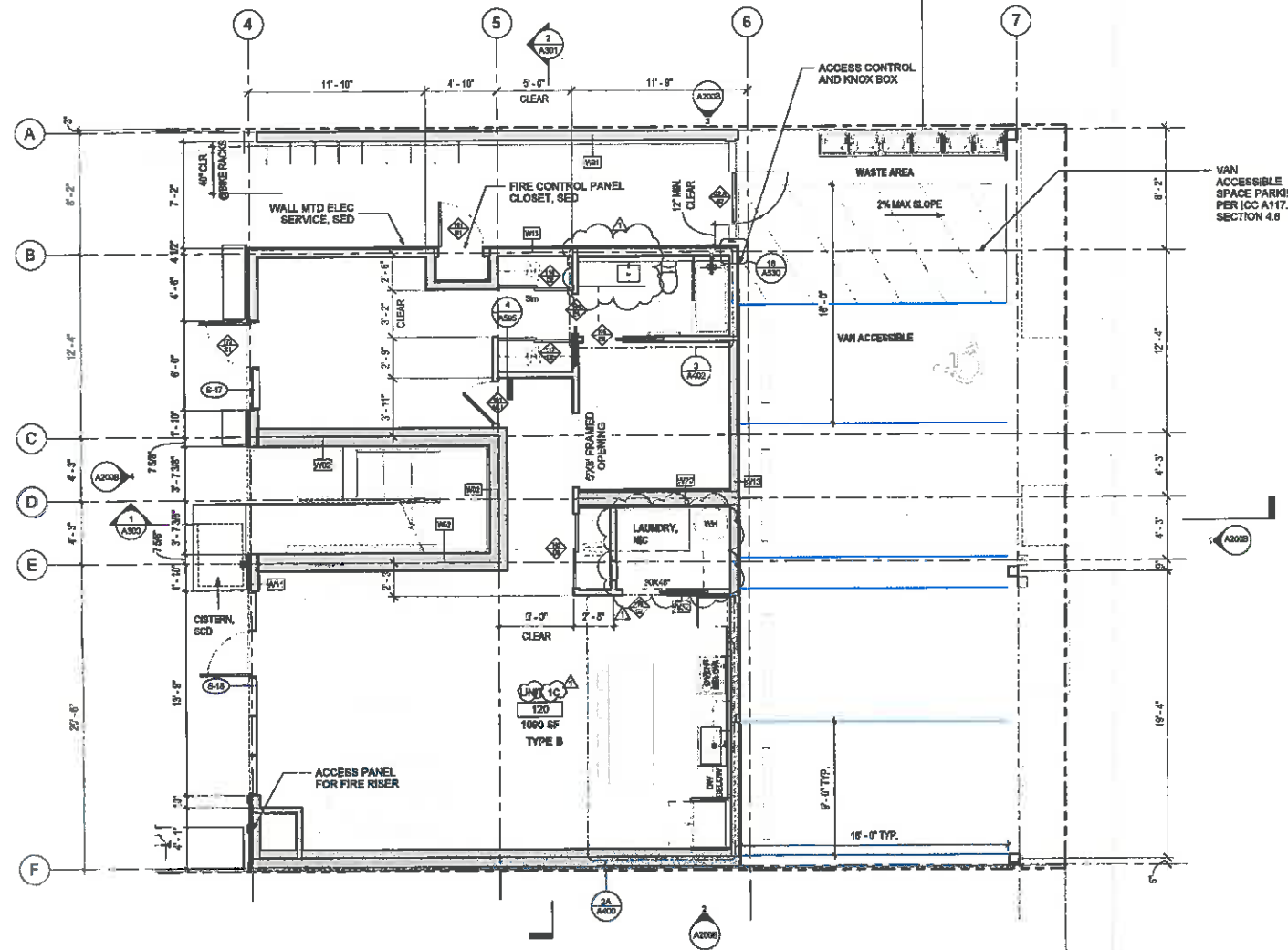


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License Stamp

Issuances	
Description	Date
SD Set	03/09/2019
DD Set	11/15/2019
Bid Set	01/31/2020

Revisions		
Rev.	Description	Date
1	Post-Bid Revision	XX-JX-XXX X



LEVEL 1 B 1

FLOOR PLAN GENERAL NOTES

1. A CLEAR PASSAGE OF 36" WIDTH MUST BE PROVIDED THROUGHOUT ALL TYPE B UNITS. NO OBSTRUCTIONS SHALL REDUCE THE WIDTH OF THE PASSAGE.
2. FOR TYPE B ACCESSIBILITY REQUIREMENTS SEE SHEET 0810.
3. WALLS RATINGS AS INDICATED, ON CODE SHEETS FOR WALL ASSEMBLIES SEE SHEET A500.
4. FURNITURE N.L.C. SHOWN FOR DESIGN COORDINATION ONLY. UNLESS OTHERWISE INDICATED, INTERIOR DOORS SHOULD BE OFFSET 4" FROM ABUTTING STUD WALLS.

Keynote Legend



KEY PLAN - B

Set Title
FOR CONSTRUCTION SET

Drawing Title
FLOOR PLAN LEVEL 1B

Sheet No.
A101B

Date 3/1/2020
Project No. 21905

2323 2ND AVE
SOUTH

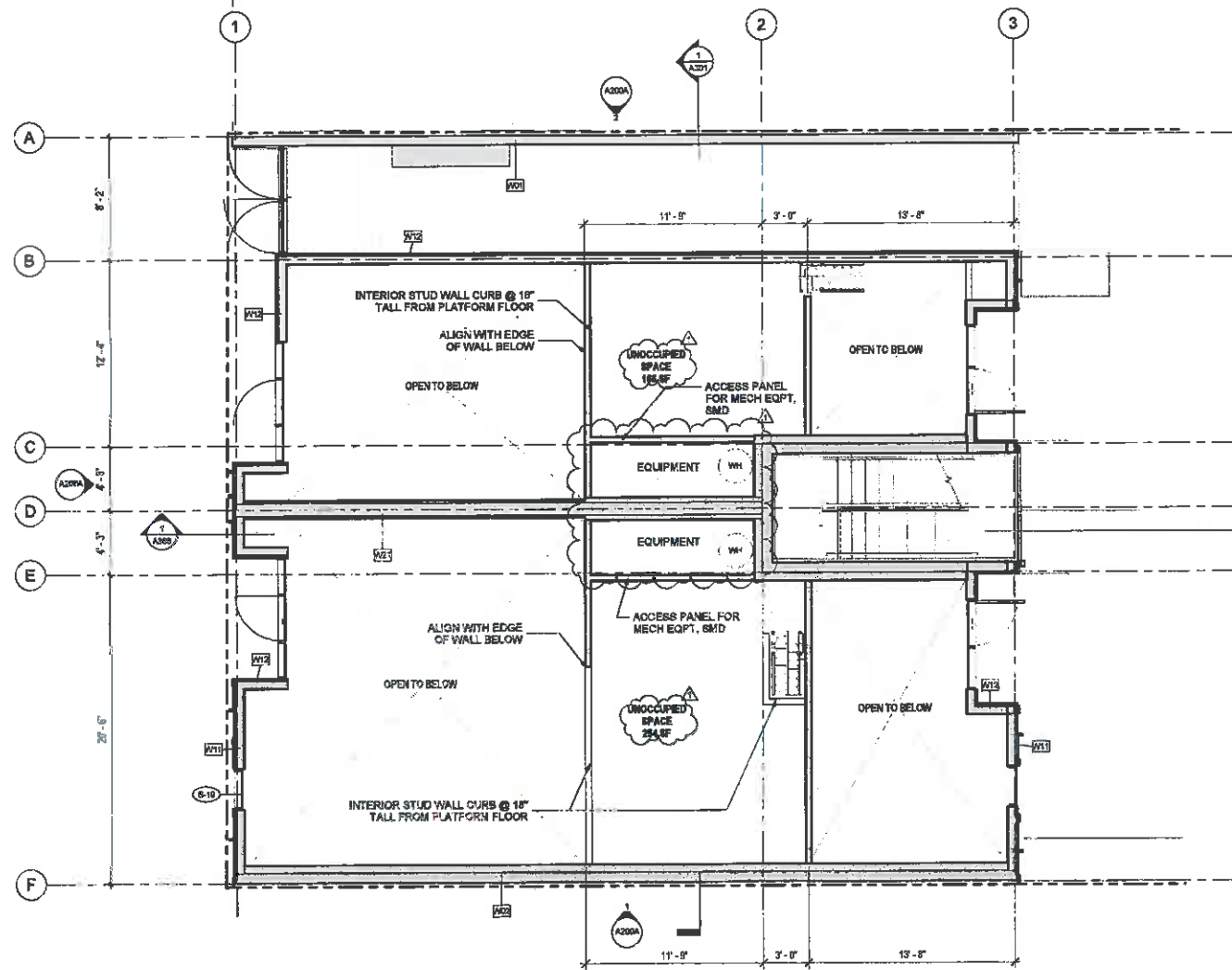


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Issues	
Description	Date
SD Set	09/09/2019
DD Set	11/15/2019
Bid Set	01/31/2020

Revisions		
Rev.	Description	Date
1	Post-Bid Revision	XX-XX-XX X



1/4" = 1'-0"

LEVEL 1 FRONT BUILDING 1

FLOOR PLAN GENERAL NOTES

1. A CLEAR PASSAGE OF 36" WIDTH MUST BE PROVIDED THROUGHOUT ALL TYPE B UNITS. NO OBSTRUCTIONS SHALL REDUCE THE WIDTH OF THE PASSAGE.
2. FOR TYPE B ACCESSIBILITY REQUIREMENTS SEE SHEET 0410.
3. WALLS RATINGS AS INDICATED, ON CODE SHEETS FOR WALL ASSEMBLIES SEE SHEET A500.
4. FURNITURE I.L.C. SHOWN FOR DESIGN COORDINATION ONLY.
5. UNLESS OTHERWISE INDICATED, INTERIOR DOORS SHOULD BE OFFSET 4" FROM ADJUTING STUD WALLS.

Keynote Legend



KEY PLAN - A

Set Title
FOR CONSTRUCTION SET

Drawing Title
**FLOOR PLAN
LEVEL 1A -
MECHANICAL
PLATFORM**

Sheet No.
A102

Date 3/11/2020
Project No. 21905

2323 2ND AVE SOUTH

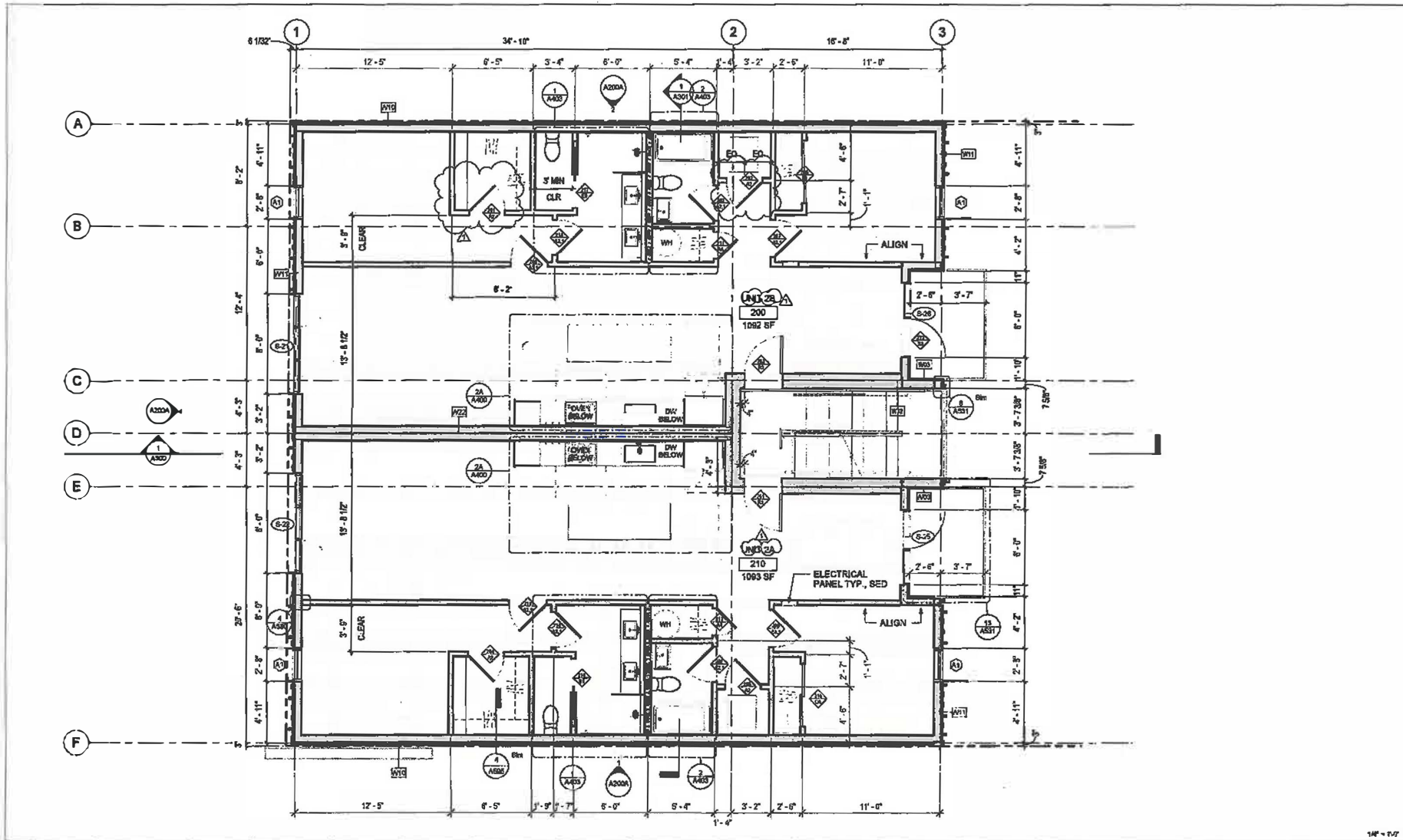


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Issues	
Description	Date
3D Set	09/09/2019
DD Set	11/15/2019
Bid Set	01/31/2020

Revisions		
Rev.	Description	Date
1	FOR CONSTRUCTION	XX-XX-XX
		X



LEVEL 2-3 A 1

FLOOR PLAN GENERAL NOTES

1. A CLEAR PASSAGE OF 36" WIDTH MUST BE PROVIDED THROUGHOUT ALL TYPE B LIMITS. NO OBSTRUCTIONS SHALL REDUCE THE WIDTH OF THE PASSAGE.
2. FOR TYPE B ACCESSIBILITY REQUIREMENTS SEE SHEET G610.
3. WALLS RATINGS AS INDICATED, ON CODE SHEETS FOR WALL ASSEMBLIES SEE SHEET A500.
4. FURNITURE NLC. SHOWN FOR DESIGN COORDINATION ONLY.
5. UNLESS OTHERWISE INDICATED, INTERIOR DOORS SHOULD BE OFFSET 4" FROM ADJUTING STUD WALLS.

Keynote Legend



KEY PLAN - A

Set Title
FOR CONSTRUCTION SET

Drawing Title
FLOOR PLAN LEVEL 2A

Sheet No.
A120A

Date 3/11/2020
Project No. 21005

2323 2ND AVE
SOUTH

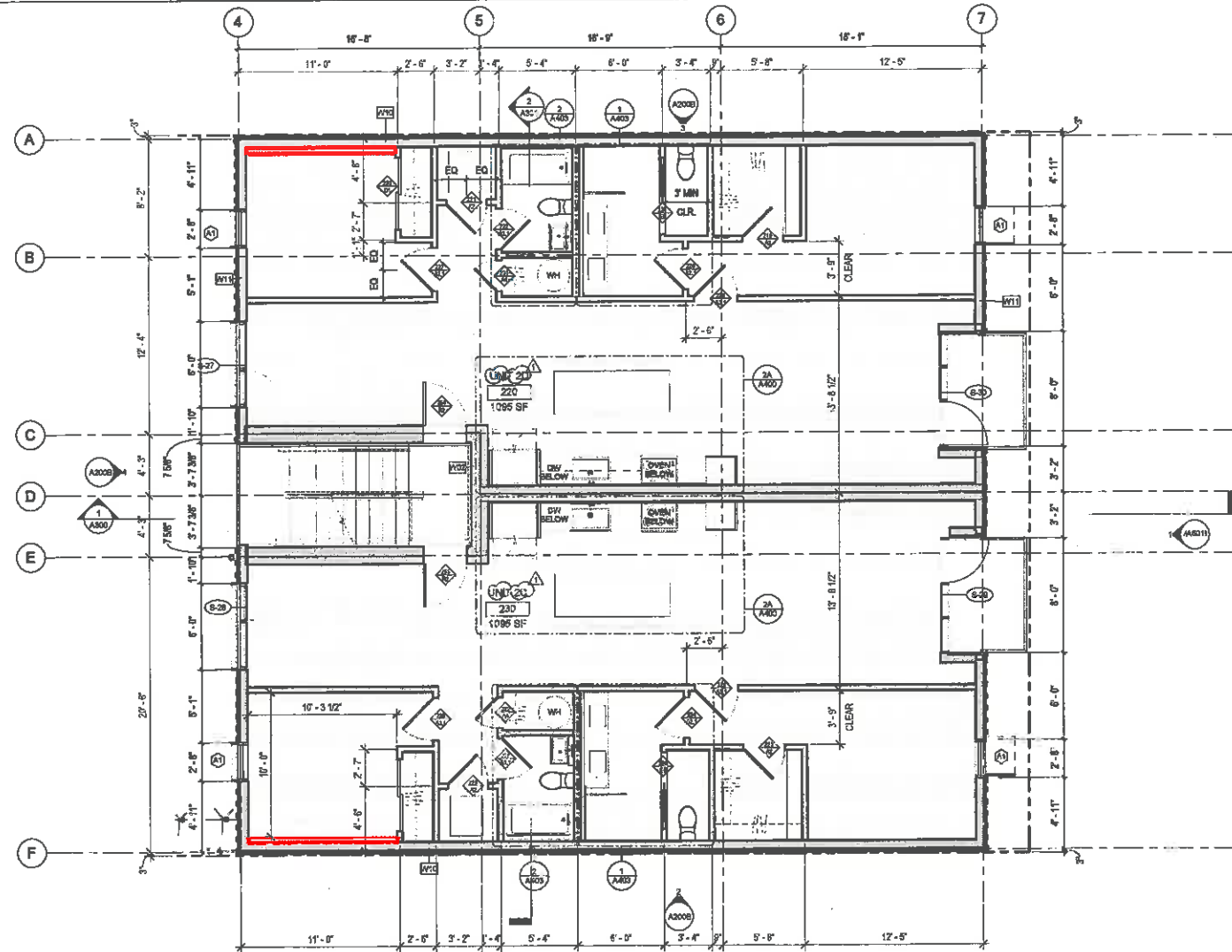


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DD Set	11/15/2019
Bid Set	01/31/2020

Revisions		
Rev.	Description	Date
1	Post-Bid Revision	XX-JOI-XXX X



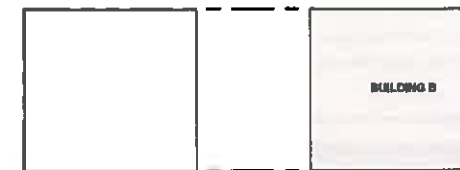
1/8" = 1'-0"

LEVEL 2-3 B 1

FLOOR PLAN GENERAL NOTES

1. A CLEAR PASSAGE OF 36" WIDTH MUST BE PROVIDED THROUGHOUT ALL TYPE B UNITS. NO OBSTRUCTIONS SHALL REDUCE THE WIDTH OF THE PASSAGE.
2. FOR TYPE B ACCESSIBILITY REQUIREMENTS SEE SHEET 0610.
3. WALLS RATINGS AS INDICATED, ON CODE SHEETS FOR WALL ASSEMBLIES SEE SHEET A500.
4. FURNITURE ALLC. SHOWN FOR DESIGN COORDINATION ONLY, UNLESS OTHERWISE INDICATED, INTERIOR DOORS SHOULD BE OFFSET 4" FROM ADJUTING STUD WALLS.

Keynote Legend



KEY PLAN - B

Set Title
FOR CONSTRUCTION SET

Drawing Title
FLOOR PLAN LEVEL 2B

Sheet No.
A120B

Date 3/11/2020
Project No. 21806

2323 2ND AVE
SOUTH

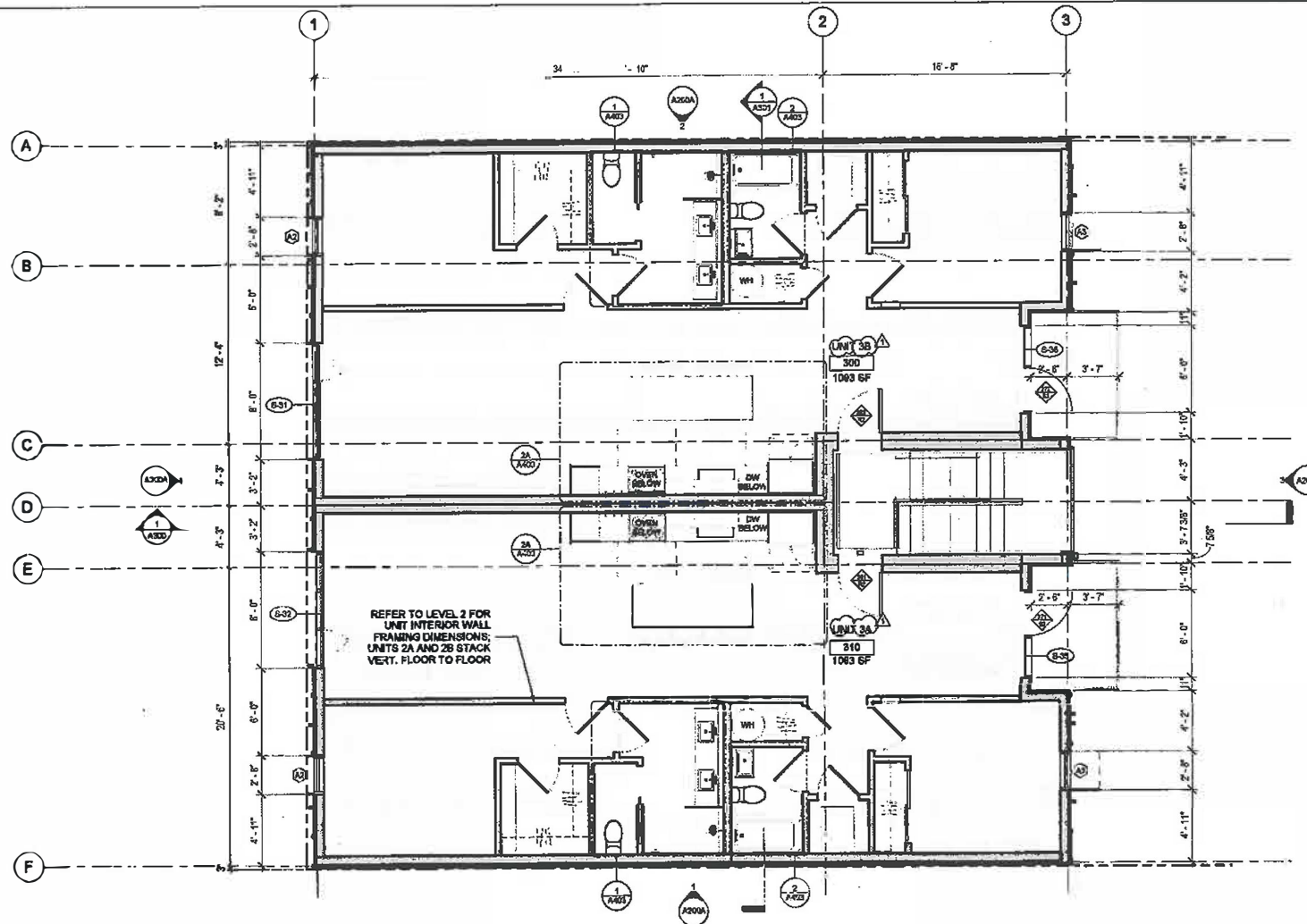


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Issuances	
Description	Date
SD Set	09/09/2019
DD Set	11/15/2019
Bld Set	01/31/2020

Revisions		
Rev.	Description	Date
1	Post-Bld Revision	XX-XX-XXXX



1/8" = 1'-0"
LEVEL 3 A 1

FLOOR PLAN GENERAL NOTES

1. A CLEAR PASSAGE OF 36" WIDTH MUST BE PROVIDED THROUGHOUT ALL TYPE B UNITS. NO OBSTRUCTIONS SHALL REDUCE THE WIDTH OF THE PASSAGE.
2. FOR TYPE B ACCESSIBILITY REQUIREMENTS SEE SHEET G010.
3. WALL RATINGS AS INDICATED. ON CODE SHEETS FOR WALL ASSEMBLIES SEE SHEET A500.
4. FURNITURE N.L.C. SHOWN FOR DESIGN COORDINATION ONLY. UNLESS OTHERWISE INDICATED, INTERIOR DOORS SHOULD BE OFFSET 4" FROM ADJUTING STUD WALLS.

Keynote Legend



KEY PLAN - A

Set Title
FOR CONSTRUCTION SET

Drawing Title
FLOOR PLAN LEVEL 3A

Sheet No.
A130A

Date: 3/11/2020
Project No. 21905

2323 2ND AVE
SOUTH

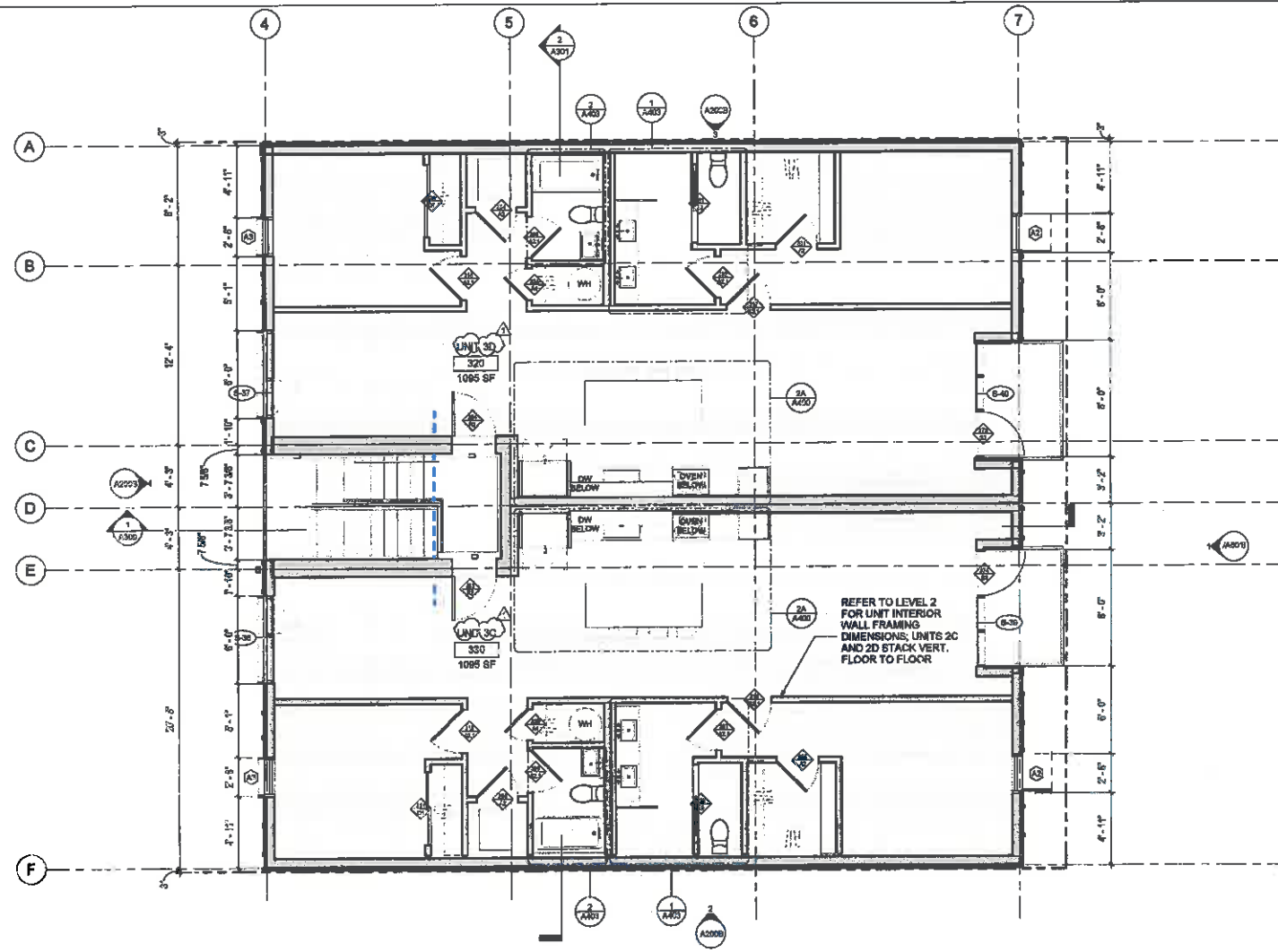


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Issuances	
Description	Date
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DD Set	11/15/2019
Bid Set	01/31/2020

Revisions		
Rev.	Description	Date
1	Post-Bid Revision	XX-XX-XXX X



LEVEL 3 B 1

FLOOR PLAN GENERAL NOTES

- A CLEAR PASSAGE OF 36" WIDTH MUST BE PROVIDED THROUGHOUT ALL TYPE B UNITS. NO OBSTRUCTIONS SHALL REDUCE THE WIDTH OF THE PASSAGE. FOR TYPE B ACCESSIBILITY REQUIREMENTS SEE SHEET G010.
- WALLS RATINGS AS INDICATED, ON CODE SHEETS FOR WALL ASSEMBLIES SEE SHEET A500.
- FURNITURE I.L.C. SHOWN FOR DESIGN COORDINATION ONLY. UNLESS OTHERWISE INDICATED, INTERIOR DOORS SHOULD BE OFFSET 4" FROM ADJUTING STUD WALLS.

Keynote Legend



KEY PLAN - B

Set Title
FOR CONSTRUCTION SET

Drawing Title
FLOOR PLAN LEVEL 3B

Sheet No.
A130B

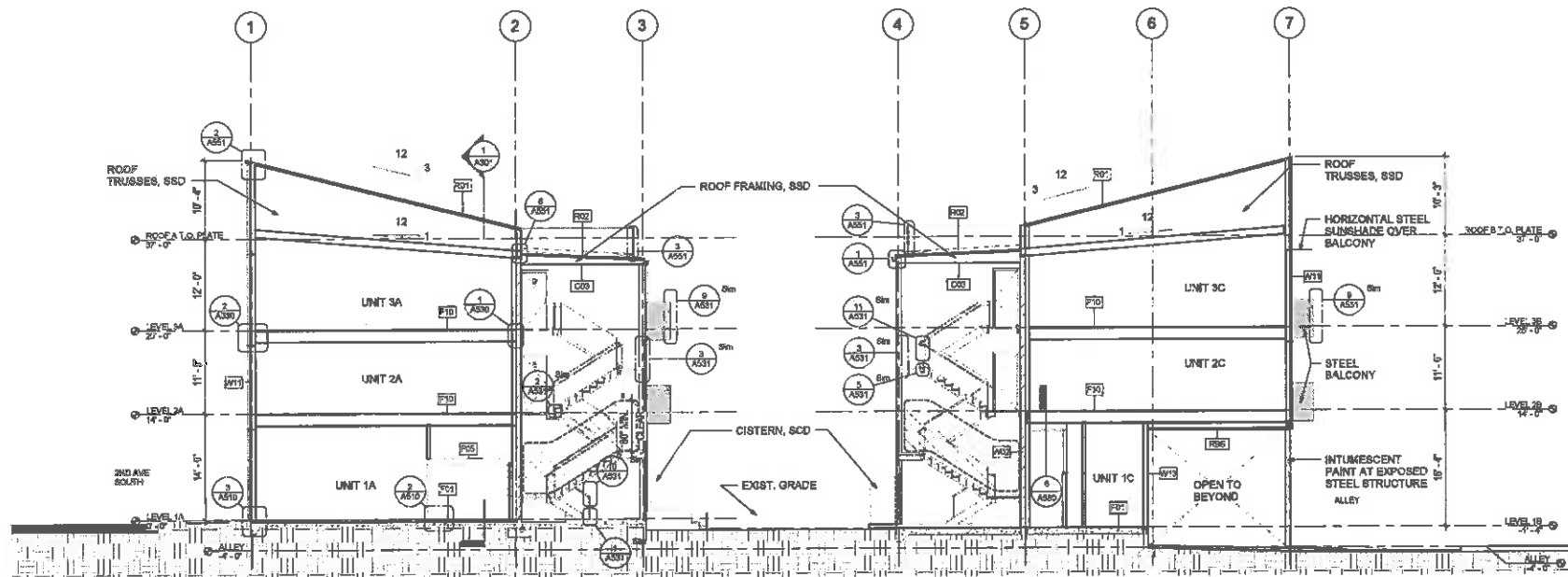
Date 3/11/2020
Project No. 21005

2323 2ND AVE
SOUTH



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NORTH SOUTH SECTION 1

- T-1 BRICK TILE
- MP-1 METAL PANEL - PAINTED
- MP-2 METAL PANEL - CORTEN
- FC-1 FIBER CEMENT RAINSCREEN CLADDING
- RBS RANDOM BATTEN SIDING FIBER CEMENT RAINSCREEN CLADDING
- BK-1 CMU BLOCK

Set Title
FOR CONSTRUCTION SET

Drawing Title
BUILDING SECTIONS

Sheet No.
A300

Date 3/11/2020
Project No. 21805

Issues	
Description	Date
SD Set	09/09/2019
DD Set	11/15/2019
BD Set	01/31/2020

Revisions		
Rev.	Description	Date

2323 2ND AVE
SOUTH



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Issues	
Description	Date
SD Set	09/09/2019
CD Set	11/15/2019
Bid Set	01/31/2020

Revisions		
Rev.	Description	Date
1	Post-Bid Revision	XX-XX-XXXX

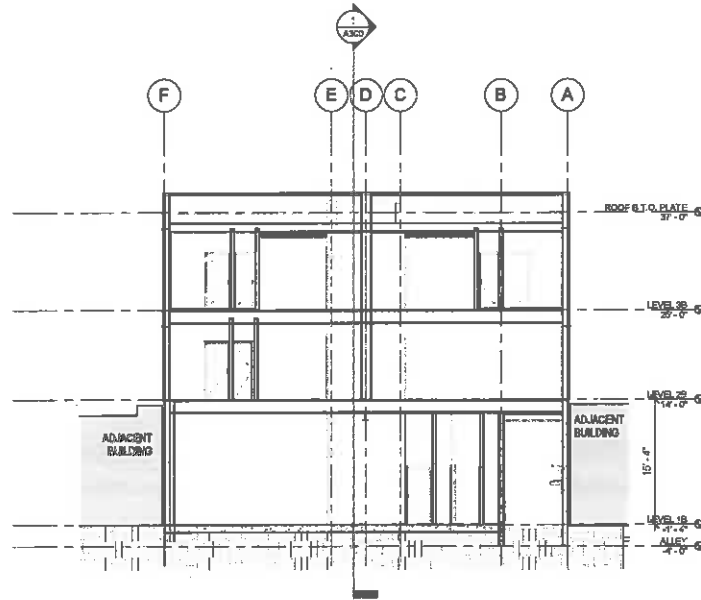
Set Title
FOR CONSTRUCTION SET

Drawing Title
BUILDING SECTIONS

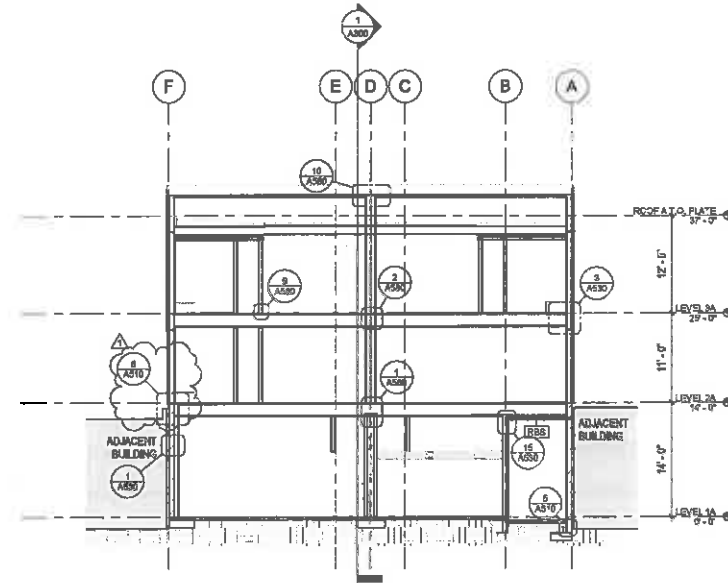
Sheet No.
A301

Date
Project No.

3/11/2020
21905



BUILDING B TRANSVERSE SECTION 2



BUILDING A TRANSVERSE SECTION 1

Meeting – August 13, 2020
Location – WebEx/ Teleconference
Time - 2:00PM
Pre-Meeting - 1:00PM
Webex/Teleconference

Neighborhood: Ensley Highlands Staff Planner Moton ZBA2020-00037

Request: Variance to allow a 5ft chain link fence in the required front yard area
Title 1 Chapter 4 Subsection 3.A.1 page 182
Applicant: Genna F.A. Johnson
Owner: Genna F.A. Johnson
Site Address: 2334 20th Pl N
Zip Code: 35208
Description: The applicant is requesting to allow a 5ft chain link fence in the front yard area
Property Zoned: D-3 Single Family District
Parcel Information: Parcel #: 012200323037002000, SW of Section 32, Township 17 S, Range 3 W

Variance:

The applicant is requesting a variance to allow a 5ft chain link fence in the front yard.

Neighborhood Meeting:

The Ensley Highlands Neighborhood Association chose not vote on this request.

Public Notices:

Public notices were mailed on July 29, 2020.

Applicant's Justification:

The applicant provided documentation of the six (6) variance standard request questions. The information has been submitted as part of the ZBA Packet.

1&2. Physical & Unique Characteristics of the Property. Unlike any other, the property in question is comprised of 2 front yards and is situated on a corner lot.

3. Hardship Not Self-Imposed.

- a). Primarily, I am requesting this because of security/safety. I have to verbally redirect people not to cross my property trying to access the other side of the street where the Birmingham City Park is situated. Despite my making it known to violators, the same individuals, when the opportunity presents itself, have been known to cross repeatedly. Some of the violators include children and adults alike. Even when I have retired for the night and am trying to rest, I can literally hear people conversing with each other as they make their way across the property. I also desired the fence to keep someone from getting hurt on my property and thus making me liable for the incident.
- b). Other incidents/accidents that have involved my property include church functions and car accidents. Occasionally, one of my church neighbors, New Birth Missionary Baptist, have frequent events such as church anniversary, funerals, weddings, picnic day, and "movie night" at the church site. It becomes problematic as the church doesn't have enough parking to accommodate its parishioners and the community at large. As a result, the people began to look elsewhere to park their vehicles. My enormous, well-kept yard becomes eye catching and they start trying to park in my yard because they see it as just land. On one occasion, I came back home to find

people cars parked in my yard. I have spoken with the pastor about the problem and to have someone out there directing traffic. This was to no avail.

- c) On two different occasions, I heard a large collision of the cars colliding with my Pampergrass. Like so many drivers, they love speeding on Pike Road coming around that bend to connect to 20th Place West. They both loss control of their vehicles and slammed into my bush. One commuter lost his bumper, and the other abandoned his vehicle and left it. I had to call the police department to file a report. I, as an owner, wasn't compensated for the damage that they caused by speeding in a residential area.
- d). On another occasion, a group of individuals pulled over in front of my home by the street light. They exited their cars and began fighting each other on my property one night.
- e). My lot is enormous, and is not the average size yard.
- f). Finally, I installed the fencing towards the frontal of the home to keep debris from flying in my yard. My sister and I are the main ones that pick-up the trash from when commuters are passing through and intentionally discard their items out the window. I pick-up the trash and I was just trying to control the flow of trash having access to my yard.

4. Financial Gain Not Only Basis.

- a). My primary reason for the installment of the fence is to alleviate or diminish any possible liability and safety of the residents that reside on this property. Although most people would comply or respect one's property, there are those out there who would defy the barriers or personal zone.

5. No Injury to Neighboring Property.

- a). Both neighbors are adjacent to me on the side where the fence is not located.

6. No Harm to Public Welfare.

- a). It doesn't impose a hardship or endangerment to the general welfare of the public. It doesn't prohibit the public from being able to access the public streets whatsoever.

Staff Analysis:

The subject property located at 2334 20th Pl N is zoned D-3, Single Family District. This property is on a corner lot. The 5ft chain link fence is place in the front yard off of 20th Place and Pike Rd.

The applicant does meet the requirement of the six variance standards for the chain link fence, because of visibility it gives ongoing traffic off the main roads.

The applicant does not meet the requirement of the six variance standards

Staff Recommendation

Staff believes the applicant has provided sufficient evidence to support the variance request. Therefore, staff believes the request has merit for approval and as such, should be **DENIED** for the height of 5 feet and **GRANTED** for the chain link in the required front yard subject to the following conditions:

1. Review by the appropriate zoning inspector to insure compliance with the Board's decision.
2. All permits should be obtain within 30 days of the approval date from the Board.

PARCEL ID: 012200323037002000

SOURCE: TAX ASSESSOR RECORDS **TAX YEAR:** 2019

DATE: Tuesday, July 28, 2020 4:28:19 PM

OWNER: JOHNSON GENNA

ADDRESS: 2334 20TH PL W

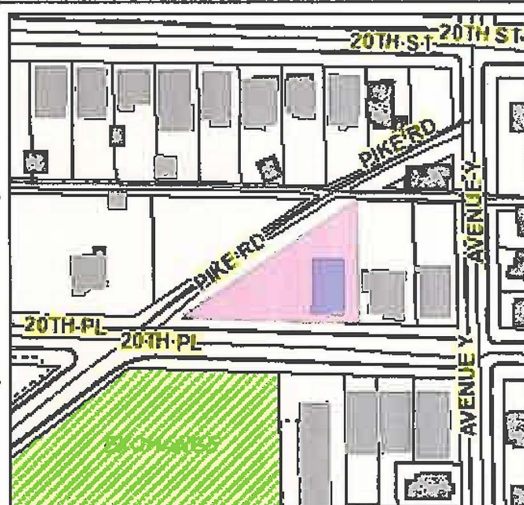
CITY/STATE: BIRMINGHAM AL

ZIP+4: 35208--1630

SITE ADDR: 2334 20TH PL

CITY/STATE: BHAM, AL

ZIP: 35208



LAND: \$25,700.00

BLDG: \$73,200.00

OTHER: \$0.00

AREA: 15,168.62

ACRES: 0.35

SUBDIVISION INFORMATION:

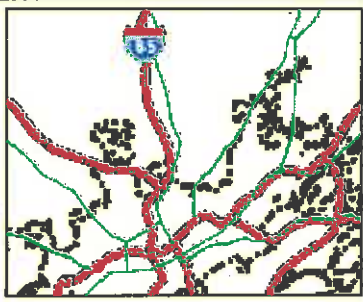
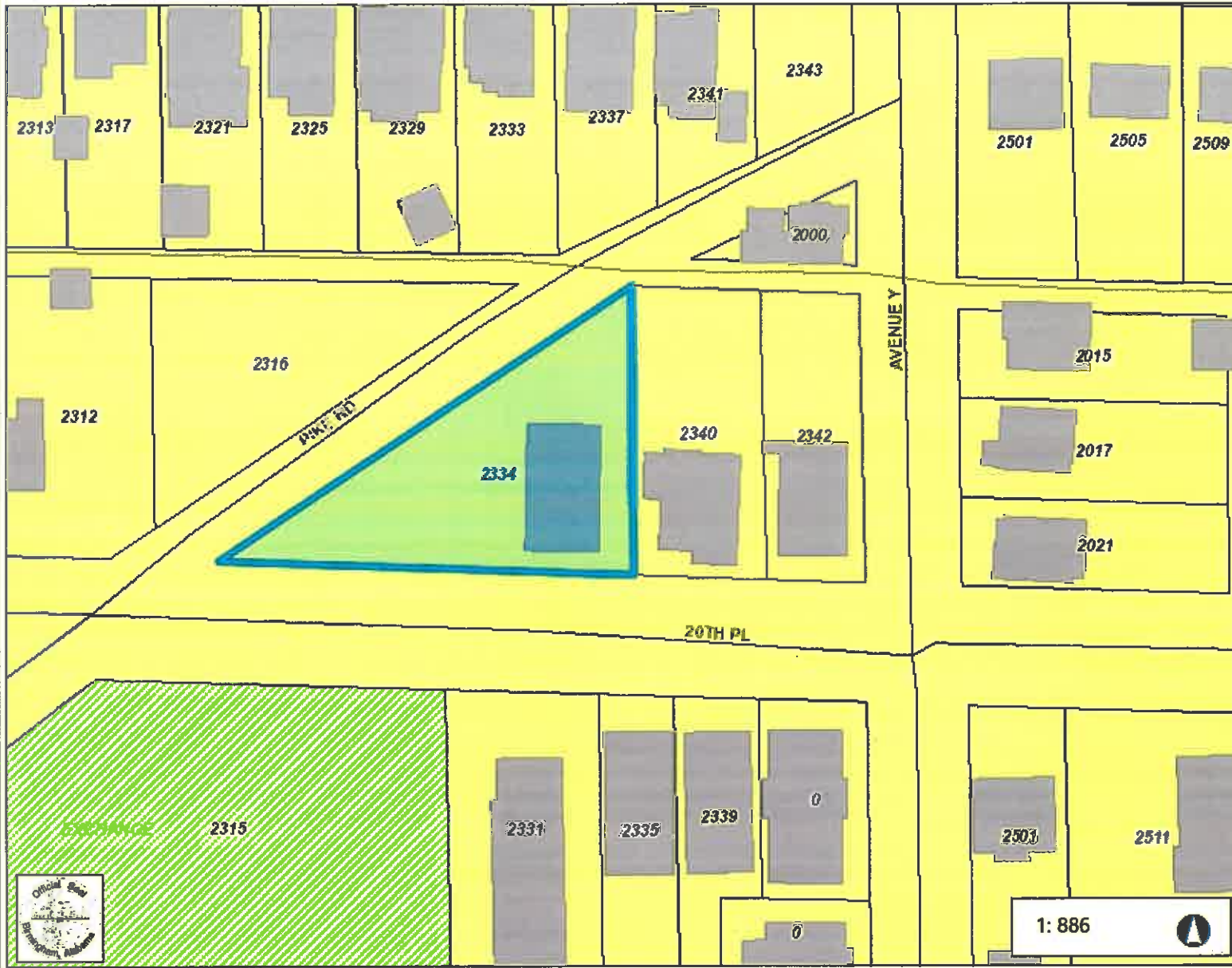
NAME BHAM ENSLEY

BLOCK: 77

LOT: 18-

- Section:** 32-17-3W
- Land Slide Zones:** Not in Land Slide Zones
- Historic Districts:** Not in Historic Districts
- Commercial Revitalization District:** Not in Commercial Revitalization District
- Fire District:** Not in Fire District
- Flood Zones:** Not in Flood Zones
- Tax Increment Financing District:** Not in Tax Increment Financing District
- Neighborhoods:** Ensley Hghlands (204)
- Communities:** Five Points West (2)
- Council Districts:** District - 8 (Councilor: Steven W. Hoyt)
- Zoning Outline:** D3
- Demolition Quadrants:** DEM Quadrant - 2
- Impaired Watersheds:** Impaired Watershed - Upper Village Creek
- Strategic Opportunity Area:** Not in Strategic Opportunity Area
- RISE Focus Area:** In RISE Focus Area
- Tax Delinquent Property:** Not in Tax Delinquent Property
- EPA Superfund:** Not in EPA Superfund
- Opportunity Zones:** Not in Opportunity Zones
- Judicial Boundaries:** JEFFERSON

Parcel mapping and description information is obtained from the Jefferson County Tax Assessor's Office. This site does not provide real-time information and may contain errors. All data should be verified with the official source. The City of Birmingham makes no warranty as to the accuracy of the data and assumes no responsibility for any errors. Data from the Tax Assessor's Office may not be available for all parcels.



Legend

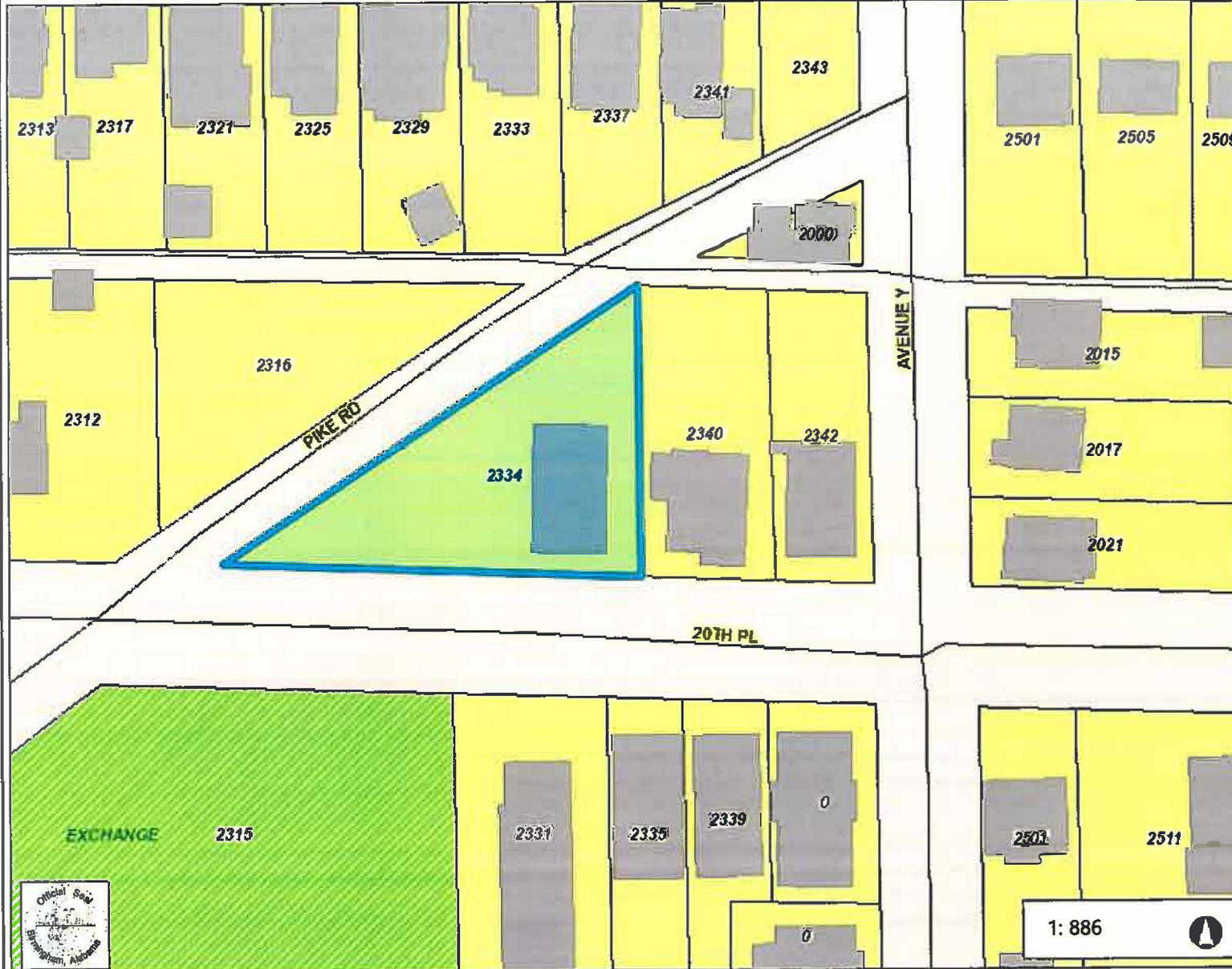
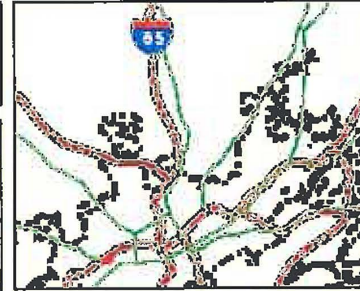
- Centerline Labels
- Railroad
- Alleys
- Local Roads
- Arterials
- County Highways
- State Highways
- US Highways
- Interstates
- Limited Access
- Ramp
- Buildings
- Hydrology Lines
- Hydrology Areas
- Parcels
- ▨ City Parks
- Airport
- Zoning Shaded
 - ▨ R1; D1 - Single Family District - Cla
 - ▨ R2; D2 - Single Family District - Cla
 - ▨ R3; D3 - Single Family District; R3
 - ▨ R4; D4 - Two Family District; R4
 - ▨ R4A - Multiple Dwelling District
 - ▨ R5; D5 - Multiple Family District; DE
 - ▨ R6; D6 - Multiple Family District
 - ▨ R7 - Multiple Family District



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1: 886

Notes



Legend

- Centerline Labels
- + Railroad
- Alleys
- Local Roads
- Arterials
- County Highways
- State Highways
- US Highways
- Interstates
 - Limited Access
 - Ramp
- Buildings
- Hydrology Lines
- Hydrology Areas
- Parcels
- City Parks
- Airport
- Adopted LandUse Plan
 - Residential-Low
 - Residential-Medium
 - Residential-High
 - Neighborhood Commercial
 - General Commercial
 - MXU-Low
 - MXU-Medium
 - MXU-High

Notes

147.6 0 73.79 147.6 Feet

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20th place and Pike rd
ZBA2020-00037















